#### AGENDA PLANNING COMMISSION CITY OF ROELAND PARK, KANSAS ROELAND PARK 4600 W 51ST STREET DECEMBER 20, 2022 6:00 PM

I. Roll Call

### II. Approval of Minutes

- 1. September 2022 Minutes
- 2. October 2022 Minutes
- 3. November 2022 Minutes

### III. Public Hearing

1. Rezoning and Preliminary Development Plan for Medwise Site

### IV. Action Items

- 1. Approve Preliminary Development Plan and Rezoning From SFR and Retail Business to CP-2 Planned General Business for Medwise Site
- V. Discussion Items

### VI. Other Matters Before the Planning Commission

VII. Adjournment

Scheduled Meeting Dates

Item Number: Committee Meeting Date: Approval of Minutes- II.-1. 12/20/2022

12/13/2022



## **City of Roeland Park**

Action Item Summary

Date: Submitted By: Committee/Department: Title: Item Type:

John Jacobson Neighborhood Services **September 2022 Minutes** Presentation

## **Recommendation:**

Approval of September 2022 Meeting Minutes

**Details:** 

Financial Impact

Amount of Request:	
Budgeted Item?	Budgeted Amount:
Line Item Code/Description:	

Additional Information

How does item relate to Strategic Plan?

How does item benefit Community for all Ages?

## ATTACHMENTS:

Description

Type Cover Memo

September Minutes

#### PLANNING COMMISSION MINUTES

CITY OF ROELAND PARK 4600 W 51<sup>st</sup> Street, Roeland Park, KS 66205 September 20, 2022, 6:00 P.M.

The Roeland Park Planning Commission met on September 20, 2022.

Commissioners Present:	Matthew Lero (Ward 4) Darren Nielsen (Mayoral Appt) Haile Sims (Mayoral Appt.) Macrina Abdouch (Mayoral Appt.)
Commissioners Absent:	Lisa Brunner (Ward 1) Josey Shaw (Ward 2)
	Mark Kohles (Ward 3)

Staff: Erin Winn, Assistant City Administrator John Jacobson, Building Official

#### I. ROLL CALL

The Planning Commission meeting was called to order at 6:00 p.m.

Commissioners Lero, Nielsen, Sims, and Abdouch were present. Commissioners Brunner, Shawn, and Kohles were absent. Building Official John Jacobson and Assistant City Administrator Winn were also present.

#### II. Approval of Minutes

#### 1. July 19, 2022, Planning Commission meeting minutes

**MOTION:** COMMISSIONER NIELSEN MOVED AND COMMISSIONER LERO SECONDED TO APPROVE THE MINUTES AS PRESENTED. (MOTION CARRIED 4-0)

#### **III. Discussion Items**

#### 1. Zoning code update considerations

Mr. Jacobson said the Commissioner would be discussing the following land uses in their upcoming meetings:

- Planned development districts
- Overlay districts and how the City uses them
- Parking shared use parking relative to commercial and mixed-use site

Mr. Jacobson asked for questions specifically as it relates to planned development districts. He wants the Commission to look at each segment in anticipation of building a scope for the consultant to be presented at the beginning of 2023.

Commissioner Lero asked about reconciling parking with accessory dwelling units (ADU) on a property and whether additional parking would be required as the current minimal requirement is two spots per residence. Mr. Jacobson said that is the reason they would address this under a special use permit. He said that an ADU would probably be on a lot large enough that they may not have to address parking as a separate issue. He said there are a finite number of properties within Roeland Park that could accommodate it and a special use permit could address those and does not create a need for a separate section in the zoning ordinance.

Commissioner Lero also asked if they considered an accessory structure such as a converted garage and whether that would require separate setback requirements. Mr. Jacobson said the intention is not to give a single-family lot two full-sized properties. He also added for an attached garage, he would like to see a fire protection wall between the two adjoining structures.

Commissioner Lero also noted that the section on mixed-use development referenced design guidelines. Mr. Jacobson said the design guidelines are part of the planned districts and were recently passed.

There was also a typo in the document that referred to Chapter 4, Article 10, which should be Article 14. Mr. Jacobson said that correction will be made.

Commissioner Sims asked about the language that marijuana use is prohibited. Mr. Jacobson said that is existing language and not an item they are currently discussing. If the state passes use of marijuana, then the home rule ban would not be applicable.

Commissioner Lero asked if they should allow a space for a dispensary business, so they don't miss out on a potential development. Mr. Jacobson said that decision would ultimately go through the Council for their decision.

#### 2. The Rocks Development Update

Ms. Winn said a land purchase agreement with EPC is in the works. EPC is working with developers preparing predevelopment and TIF project plans. In the next 3 months, they will be bringing those to the Planning Commission and City Council for a multi-use mixed family complex. She also said the Council has stressed the project include a sit-down restaurant that serves alcohol. In October, EPC will present their TIF project plan. The Commission will look at the plan to see if the project, improvements, and development being proposed aligns to the cy's Comprehensive Plan. Staff will also present their review of the project.

In November, the rezoning will come before the Commission on mixed use. They will look at the preliminary development and the platting proposal.

Then on December 6<sup>th</sup>, staff will be asking three Commissioners to call a Special Call Planning Commission meeting. Ms. Winn said this is a one in a lifetime development for Roeland Park and they are very excited.

Commissioner Nielsen said he has been here many years and has been waiting for something at the site. He said it is exciting.

Ms. Winn said they anticipate using the \$3.45 million in proceeds to relocate the Public Works facility. It is also a condition for EPC buying the land that Public Works relocate elsewhere.

#### IV. Other Matters Before the Planning Commission

Ms. Winn said this is last meeting before her maternity leave, but she will be back the beginning of 2023. Mr. Jacobson and City Administrator Moody will be handling things for her.

Commissioner Lero said it was great to see the sidewalks being installed despite the inconvenience and that they looked nice.

Mr. Jacobson said he has heard from citizens about the Presbyterian church and gave an update to the Commission. Currently they do not have a demolition permit, but one will be obtained at some point. The building will be demolished. The anticipation is for low density residential to go in either single-family or townhomes. There has been significant interest at the prospect of townhomes on the site. He said the Commissioners will have a busy calendar for several months.

Ms. Winn also gave an update on the 47<sup>th</sup> and Mission corner. She said that no development plan has been submitted even though it looks like there is building on the site. Currently there is a soil remediation project by KDHE because the site was previously a dry cleaner.

Commissioner Nielsen asked who was paying for the remediation. Ms. Winn said it was being done by the state and possibly in conjunction with the landowner, but the City is not paying for it.

#### V. Adjournment

**MOTION:** COMMISSIONER NIELSEN MOVED AND COMMISSIONER LERO SECONDED TO ADJOURN. (THE MOTION CARRIED 4-0.)

(Roeland Park Planning Commission Meeting Adjourned at 6:29 p.m.)

Item Number: Committee Meeting Date: Approval of Minutes- II.-2. 12/20/2022



## **City of Roeland Park**

Action Item Summary

Date: Submitted By: Committee/Department: Title: Item Type: 12/13/2022 John Jacobson Neighborhood Services **October 2022 Minutes** Presentation

## **Recommendation:**

Approval of October 2022 Minutes

**Details:** 

**Financial Impact** 

Amount of Request:	
Budgeted Item?	Budgeted Amount:
Line Item Code/Description:	

Additional Information

How does item relate to Strategic Plan?

How does item benefit Community for all Ages?

## ATTACHMENTS:

Description

Type Cover Memo

D October Minutes

#### PLANNING COMMISSION MINUTES

CITY OF ROELAND PARK 4600 W 51<sup>st</sup> Street, Roeland Park, KS 66205 October 18, 2022, 6:00 P.M.

The Roeland Park Planning Commission met on October 18, 2022.

Commissioners Present:	Lisa Brunner (Ward 1) Matthew Lero (Ward 4) Darren Nielsen (Mayoral Appt) Haile Sims (Mayoral Appt.)
Commissioners Absent:	Josey Shaw (Ward 2) Mark Kohles (Ward 3) Macrina Abdouch (Mayoral Appt.)

Staff: Keith Moody, City Administrator John Jacobson, Building Official Steve Mauer, City Attorney

#### I. ROLL CALL

Commissioner Nielsen called the Planning Commission meeting to order at 6:02 p.m.

Mr. Jacobson called the roll. Commissioners Lero, Nielsen, Sims, and Abdouch were present. Commissioners Brunner, Shawn, and Kohles were absent. Staff present was City Administrator Moody, City Attorney Mauer, and Building Official John Jacobson.

#### II. Approval of Minutes

There were no minutes for approval.

#### III. Public Hearing 1. Finding of Consistency for The Rocks TIF Project Plan

Commissioner Nielsen opened the public hearing.

City Administrator Moody provided background for The Rocks project. He said the process to move forward is set out in state statute. The Planning Commission is charged with hearing the project plan and finding whether or not it is consistent with the City's Comprehensive Plan. It will then be referred on to the City Council. The project plan was attached to the agenda packet and provides an overview of what is proposed and also contains a plan site. The Future Land Use Map was also attached for reference and reflects the site is anticipated to be a mixed-use development.

Brendon O'Leary from EPC gave a presentation on the proposed development, what is to be included, and spoke to the grade challenges and how their design is contoured to maximize the

highest and best use for the site. The modern mountain architecture style will also complement the theme of The Rocks.

As there were no public comment, Commissioner Nielsen closed the public hearing.

Commissioner Lero asked if the project would include commercial spots in addition to the restaurant and apartments. Mr. O'Leary said there is 3,500 square feet set aside for restaurant space, but there could potentially be a retail component. Commissioner Lero commented the leasing office and common areas look like retail space.

Commissioner Brunner asked the residential split of units. Mr. O'Leary said that 30 percent are studio, 50 percent are one bedroom, and 20 percent are two bedrooms for approximately 285 total units. There is also a parking garage for the residents.

Commissioner Nielsen asked about the green space and delivery services to the restaurant. Mr. O'Leary responded the courtyard will have a pool, grill, and firepit amenities for the residents only. The space to the north will be a public/private courtyard that is not fully programmed yet but may be a place for restaurant users to walk around. The area will be heavily landscaped. Deliveries to the restaurant will be made on the north side of the building.

Commissioner Brunner asked about the access from Roe to the restaurant. EPC said the existing drive is a right in/right out off of Roe, and that will remain. The main access will be on 48<sup>th</sup> Street. City Administrator Moody added that there is a proposed extension of Roe Parkway to intersect with Roe Boulevard.

Commissioner Nielsen stated they are looking for consistency with the Comprehensive Plan. Mr. Jacobson said a lot of the questions they are asking will be addressed by the preliminary development plan at that public hearing.

Commissioner Nielsen also asked about the percentage of affordable housing in the project. City Administrator Moody said that will be 5 percent and is incorporated into an MOU as well as being reflected in the development agreement.

Commissioner Nielsen also asked Mr. Jacobson if when they did their evaluation were there any judgment calls or was everything black and white. Mr. Jacobson responded that for him it is black and white because the area is slated to be mixed use. And as long as they have a residential and commercial component, it meets that proposed use.

Commissioner Brunner said as part of the Comprehensive Plan it should be environmentally friendly and asked whether they are contemplating solar or electric vehicle charging stations. Mr. O'Leary said that EPC is contemplating those things and are committed to the Green Globes protocol which is comparable to the LEED environmental standard. Mr. Jacobson added that they are required to comply with the City's solar-ready ordinance, and set aside for future use.

Commissioner Brunner also asked about views of the skyline. Mr. O'Leary said EPC did a drone shot from what it would look like from the highest point at various spots. He said they will be bringing that back to show them. Commissioner Brunner said it would be nice for the project to have a rooftop view.

Commissioner Nielsen asked management of the site and EPC will be both owner and operator.

The Planning Commissioners found the project was consistent with the City's Comprehensive Plan and recommended forwarding it on to the City Council.

#### IV. Discussion Items

#### 1. Townhome Development Concept Discussion

Mr. Jacobson said staff is looking for feedback from the Planning Commission on how they can take advantage of vacant properties and undeveloped land.

Tony Krsnich from Flint Hills Holdings Group said they have purchased the church site at 5015 Buena Vista for redevelopment. He said the site is currently obsolete. In developing a project, he looked at homes in the City to help design something that will fit in with the neighborhood. They went door to door asking for feedback and it was important to the residents that the buildings not be too large, and that the façade match the neighborhood. Their development proposes to keep the back yard area as large as possible for low maintenance.

Adam Anthony Pfeifer from NCARB said they looked at a number of different situations for the site. The group feels confidentially that a rowhome would achieve the density but not overcrowd the site. It would be a combination of 20, 25, and 28-feet wide units as they try to maximize the land. He said they would also like to preserve the alleyway and streetscape along Clark and Buena Vista.

Mr. Jacobson asked the Planning Commission for their feedback and whether they would support this type of use and architecture in a single-family neighborhood. He also asked if the concepts shown complement the adjoining portions of the neighborhood as far as design, access, visual, and use standpoints.

Mr. Pfeifer said current the City's zoning does not have anything that would support this project currently. They also expect these to be ownership properties and not rentals.

Mr. Jacobson said currently the only vehicle would be multi-family zoning. The project would need to go through the development plan process, and if submitted, they must build what their plan states. As the Commission begins to go through the City's zoning classifications there will be one added for this type of element. They have anticipated the need, but for now they do have a vehicle by which they can move forward with this project.

Commissioner Lero said he would like to see the higher density units on the side facing the school and the lower density units facing the residential. He said the setbacks are good but would like to potentially see them remove a unit to break up the larger building. He also suggested having a porch face on the front to break up the space.

Mr. Pfeifer said the feedback from residents was that they didn't want them to build a McMansion as done elsewhere in the City. The Planning Commissioners discussed with the developments team building aesthetics and placement.

Commissioner Brunner said her brother lives close to the property and is concerned that something is going to be plopped in there. She said it is a front porch kind of neighborhood and would like to see the entry be more inviting. She did like the modern look.

(Inaudible conversation; talking over one another)

Commissioner Nielsen said losing the on-street parking on Clark concerns him. He suggested the developer look at the buildings at 60<sup>th</sup> Terrace and Roeland Drive as an idea he feels would be suitable for this site.

Mr. Jacobson said from a staff perspective they see the Planning Commission supports this type of development and economic element, but they would like to see some architectural changes. He added that the developer is trying to incorporate the citizen comments. The Commissioners do approve of this type of use and would support it.

There was some discussion about incorporating universal design for accessibility and access. Mr. Jacobson said there are incentives that could be of substantial benefit to the developer.

#### V. Other Matters Before the Planning Commission

Mr. Jacobson said the Planning Commission agendas will be full for the foreseeable future and asked the Commissioners to let him know if they cannot attend as it is important that they have a quorum as they have deadlines to meet.

The next meeting is scheduled for November 15<sup>th</sup> with a Special Call tentatively scheduled for December 12<sup>th</sup>.

#### VI. Adjournment

**MOTION:** COMMISSIONER NIELSEN MOVED AND COMMISSIONER LERO SECONDED TO ADJOURN. (THE MOTION CARRIED 4-0.)

(Roeland Park Planning Commission Meeting Adjourned at 7:18 p.m.)

Item Number: Committee Meeting Date: Approval of Minutes- II.-3. 12/20/2022

12/13/2022



## **City of Roeland Park**

Action Item Summary

Date: Submitted By: Committee/Department: Title: Item Type:

John Jacobson Neighborhood Services **November 2022 Minutes** Presentation

**Recommendation:** 

**Details:** 

**Financial Impact** 

Amount of Request:	
Budgeted Item?	Budgeted Amount:
Line Item Code/Description:	

Additional Information

How does item relate to Strategic Plan?

How does item benefit Community for all Ages?

## ATTACHMENTS:

Description

Type Cover Memo

D November Minutes

#### PLANNING COMMISSION MINUTES

CITY OF ROELAND PARK 4600 W 51<sup>st</sup> Street, Roeland Park, KS 66205 November 15, 2022, 6:00 P.M.

The Roeland Park Planning Commission met on November 15, 2022.

Commissioners Present:	Lisa Brunner (Ward 1) Josey Shaw (Ward 2) Mark Kohles (Ward 3) Matthew Lero (Ward 4) Haile Sims (Mayoral Appt.)
Commissioners Absent:	Darren Nielsen (Mayoral Appt) Macrina Abdouch (Mayoral Appt.)

Staff: Keith Moody, City Administrator John Jacobson, Building Official Steve Mauer, City Attorney

#### I. ROLL CALL

Vice-Chair Commissioner Brunner called the meeting to order.

Mr. Jacobson called the roll noting that Commissioners Nielsen and Abdouch were absent. Staff present was City Administrator Keith Moody, Building Official John Jacobson, and City Attorney Steve Mauer.

#### II. Approval of Minutes

There were no minutes for approval.

#### **III. Public Hearing**

#### 1. Redhair Acres

Commissioner Brunner opened the public hearing.

There is a request to plat the property to meet City regulations and make it permissible to apply for a building permit in the future.

Commissioner Brunner asked if there were plans to build an accessory dwelling unit. The applicant responded that currently the land is unplatted and there is no current development plan. In order to obtain a permit, they will need to have the property platted.

There were no public comments made with regard to this item.

#### 2. Rezoning and Preliminary Development Plan for The Rocks Site

Brendon O'Leary from EPC gave an updated presentation on the proposed 280 multi-family project at The Rocks site that will include a structured parking garage, restaurant space, plaza outdoor seating for the restaurant patrons and residents, a residents-only courtyard, a clubhouse area, and a leasing office. Mr. O'Leary reviewed the grading plan and how the buildings will be constructed. The design plans are included in the agenda packet and include different angle views of the residential units. Mr. O'Leary also spoke to the quality materials that will be used.

The Commissioners asked for a view of the parking garage. Mr. O'Leary said it will be a concrete garage structure, but the design renderings are not complete as they are still deciding on what treatments to use.

Commissioner Brunner asked about retail spaces on the site. Mr. O'Leary said retail space would be conditional on the size of the restaurant. If the restaurant is under 5,000 square feet, they would have some retail space available, and they are still working on who those tenants would be.

Commissioner Brunner followed up asking about the views from the drone. Mr. O'Leary responded they weren't as impactful as they had hoped.

A Commissioner asked if they need to do a traffic study. Mr. O'Leary said they have started a traffic study which will be part of the final development plan. Mr. Jacobson said there is an initial report complete with the engineer's comments that will be available with the larger traffic study.

There were no public comments made.

Commissioner Brunner closed the public hearing.

#### IV. Action Items

#### 1. Redhair Acres

**MOTION:** COMMISSIONER KOHLES MOVED AND COMMISSIONER LERO SECONDED TO APPROVE THE PRELIMINARY AND FINAL PLATS OF THE REDHAIR ACRES SUBDIVISION. (THE MOTION CARRIED 4-0.)

#### 2. Rezoning and Preliminary Development Plan for EPC Mixed Use Development

Mr. Jacobson said there are two variances to consider in their discussion. One is to allow the developer to construct parking between the street and retail along Roe Boulevard. The second is to allow the east façade of the parking garage to face the street. Mr. Jacobson said a future conversation could entail incorporating art into the façade of the structure.

There was more Commission discussion about the 1 percent for art requirement. City Administrator Moody said that City regulations state structured parking shall not have a side that fronts a building, so the parking garage cannot have a façade that faces a right-of-way. He noted the developer has done a good job obscuring it on three sides. When the final development plan comes forward, they will be asked to employ screening to address the issue. This is difficult because the property has three rights-of-way adjacent to it.

There was Commission discussion about access to the restaurant from the parking garage. Mr. Jacobson said there is pedestrian access to the restaurant from the garage but not vehicle access. There will be designated parking access outside the restaurant.

Commissioner Sims asked for clarification on the second variance. Mr. Jacobson said they will need to screen the parking, but they need to be able to have that parking to make the restaurant a marketable property.

MOTION: COMMISSIONER LERO MOVED AND COMMISSIONER KOHLES SECONDED TO APPROVE THE REZONING FROM CP2 TO MXD AND PRELIMINARY DEVELOPMENT PLAN FOR THE EPC MIXED USE DEVELOPMENT AT THE ROCKS TO INCLUDE VARIANCE REQUEST 1: THE ABILITY TO CONSTRUCT PARKING FACILITIES BETWEEN THE STREET AND THE RETAIL AREA ALONG ROE BOULEVARD; AND VARIANCE REQUEST 2: TO ALLOW THE FAÇADE OF THE PARKING GARAGE TO FACE A STREET ON THE EAST ELEVATION. (THE MOTION CARRIED 5-0.)

#### 3. Final Plat: The Rocks Subdivision

Mr. Jacobson said that once the preliminary plat is approved, they need to look to the final plat which is for subdivision of the land.

City Administrator Moody said the property must include no more than 10 percent of the site for parkland or in lieu of land dedication payment can be made at fair market value for the land, which is figured to be 0.726 acres.

The following three options were discussed by the Planning Commissioners:

- Consider the gathering space included in the EPC project site as parkland.
- Accept the lot east of Roe Parkway to satisfy the parkland requirement, although there are significant elevation changes and a stormwater detention facility that will limit the use of the land.
- Payment in lieu of parkland dedication in which those resources can be used for improvements to existing parks or to purchase more park land.

Staff is recommending Option 3 as the best choice to meet the requirements of the City's regulations. The options were also presented to the Parks Committee and their preference was Option 3.

Commissioner Lero stated he is on the Parks Committee and in their conversations, they discussed the upcoming improvements to Nall Park and that the monies would be better suited on parks the City currently has versus trying to wedge in a park that would have an accessibility issue.

Commissioner Shaw suggested some nice plantings for the area but not as a park but instead for a greenspace.

Mr. Jacobson said there is substantial landscaping planned for around the site. Also, where the stormwater detention facility is no structures can be built and would by default remain a greenspace.

Mr. Jacobson said the Planning Commission's role is to make a recommendation to the Governing Body for their final decision.

Commissioner Shaw asked if the area is still a TIF district. City Administrator Moody said this area was placed into its own TIF district in anticipation of this development. The resources from the TIF will pay for the site development and parking structure. The payment for the parkland will come out of the proceeds when the City sells the ground. That anticipated dollar amount is included in the agenda packet.

MOTION: COMMISSIONER LERO MOVED AND COMMISSIONER SHAW SECONDED TO RECOMMEND APPROVAL BY THE GOVERNING BODY THE FINAL PLAT FOR THE ROCKS SUBDIVISION AND TO ACCEPT OPTION 3 TO ACCEPT PAYMENT IN LIEU OF PARKLAND DEDICATION. (THE MOTION CARRIED 5-0.)

#### V. Discussion Items

#### 1. Roe House Concept Revisions

THE 5015 Buena Vista concept was presented to the Commissioners for their review. This will be discussed in depth at their Special Call Planning Commission meeting on December 6, 2022. Mr. Jacobson wanted to get this information to the Planning Commissioners so they can prepare for the meeting. There are also noted changes to the garages and their elevations.

Certified notices will be sent to surrounding property owners and there will be time for a protest period. They do anticipate public comments to be made at the public hearing. Once they pass that step, they will move on to the final development plan and plat.

Commissioner Shaw asked about art considerations for the site. Mr. Jacobson said that is something that goes before the Council, and is an area that is designated in the development plan. Commissioner Shaw said it would be nice to make some recommendations to have the art facing Roe. Mr. Jacobson said there are different options such as the art being incorporated into the structure versus a freestanding structure. They are anticipating seeing that on the development plan.

City Administrator Moody added that the 1 percent for art of a \$70 million is a large amount, and they never considered that large of an amount, noting there may be a combination of techniques that could be considered, but the final decision is that of the Council.

#### VI. Other Matters Before the Planning Commission

Mr. Jacobson reminded everyone of the Special Call Planning Commission meeting and said it is important that they have quorum, and to let him know if they are unable to attend the meeting.

#### VII. Adjournment

## **MOTION:** COMMISSIONER SHAW MOVED AND COMMISSIONER KOHLES SECONDED TO ADJOURN. (THE MOTION CARRIED 5-0.)

(Roeland Park Planning Commission Meeting Adjourned at 7:53 p.m.)

Item Number: Committee Meeting Date: Public Hearing- III.-1. 12/20/2022

12/13/2022



## **City of Roeland Park**

Action Item Summary

Date: Submitted By: Committee/Department: Title: Item Type:

John Jacobson Neighborhood Services **Rezoning and Preliminary Development Plan for Medwise Site** Presentation

### **Recommendation:**

Staff recommends a motion to approve rezoning for the site form Single Family Residential and Retail Business to CP-2 Planned General Business.

Concerning the Preliminary Development Plan staff recommends the planning commission review the use and site layout to determine suitability. The planning commission may approve, deny or approve with condition(s).

## **Details:**

This area was designated as "Mixed Use Commercial" in the Future Land Use map for the area. This is a carry over from the 47th Street Overlay District visioning document formed over a decade ago. The site is bordered on three sides by adjoining roadways. Mission Rd and 48th Street are both collector streets and the intersection is home to intense commercial uses, however this site is adjacent to existing single family uses. For this reason, staff believes a planned general business district is a more appropriate designation for the site, because the "planned" designation requires a proposed use to complete the Preliminary and Final Development Plan process which affords the City greater latitude when considering if a proposed use/development is compatible with surrounding lands uses. The site as it exists is also small for a mixed-use concept, which would generally have multiple stories, there isn't sufficient room to accommodate the parking and buildings associated with a mixed-use approach.

This action is being requested to facilitate the construction of an Urgent Care Clinic on the tract. The development area currently consists of three separate parcels, one of which is currently zoned single family residential. The developer will be required to plat the parcels into a single lot before construction.

#### **Financial Impact**

Amount of Request: NA	
Budgeted Item?	Budgeted Amount: NA
Line Item Code/Description: NA	

#### Additional Information

As part of the application the developer has proposed a sidewalk construction exemption along Canterbury. Staff does not recommend a variance to the requirement. The City's Bicycling and Pedestrian Strategic Plan anticipates sidewalks on both sides of all streets as a goal. The 2023 Canterbury reconstruction project being completed by the City will include the addition of a new sidewalk along the west side of Canterbury. The developer should provide sidewalk along each street frontage for the site including along the east side of Canterbury. The proposed medical use is commercial and sidewalk access in commercial areas should be emphasized and provided on both sides of the street.

Further, there are still sidewalk concerns along Mission road. Staff would prefer to work through these items with the Planning Commissions input during the public hearing process.

How does item relate to Strategic Plan?

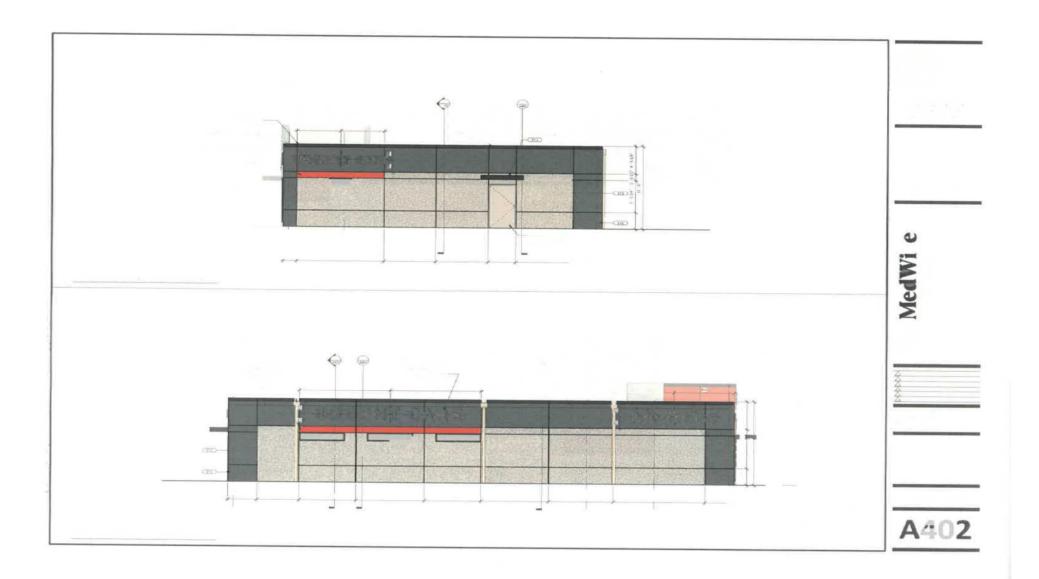
How does item benefit Community for all Ages?

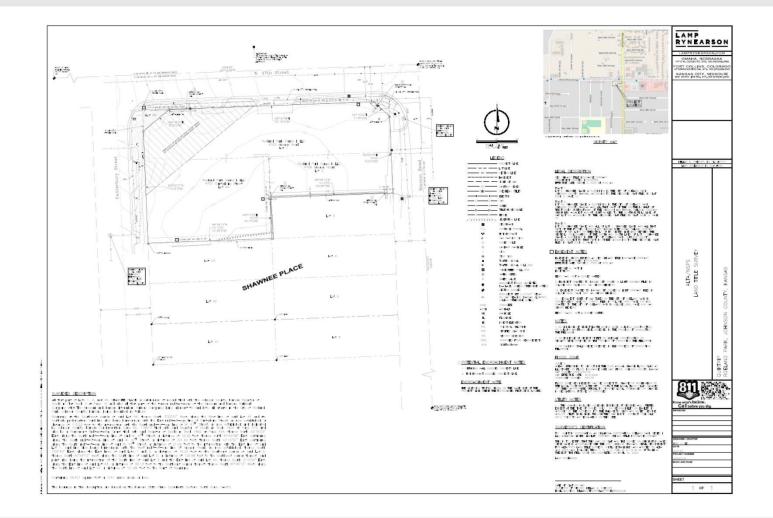
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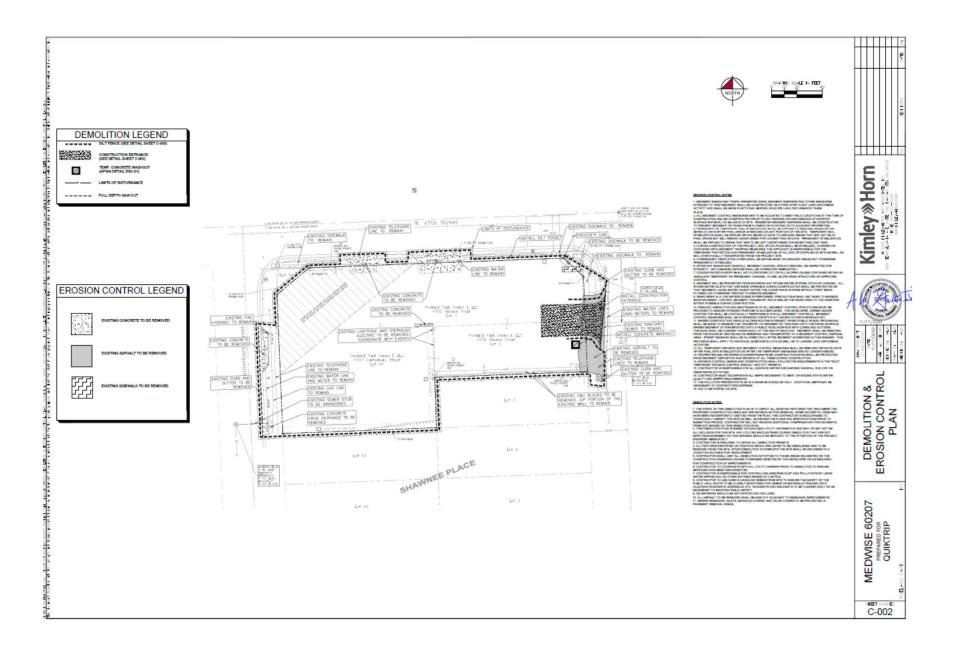
	Description	Туре
۵	Medwise Overview	Cover Memo
D	Medwise Presentation 12-20-22	Cover Memo

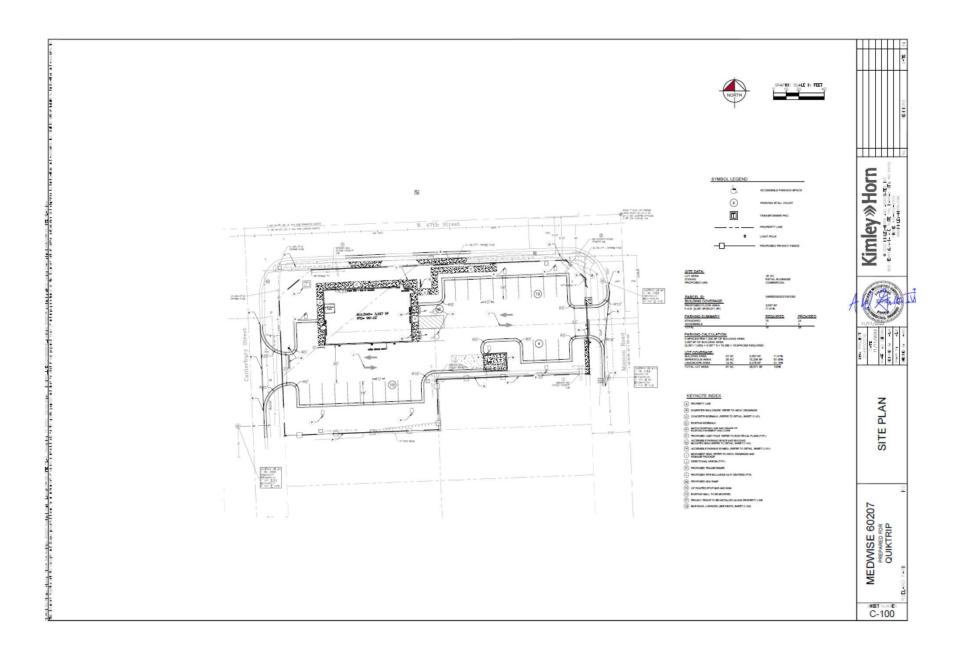


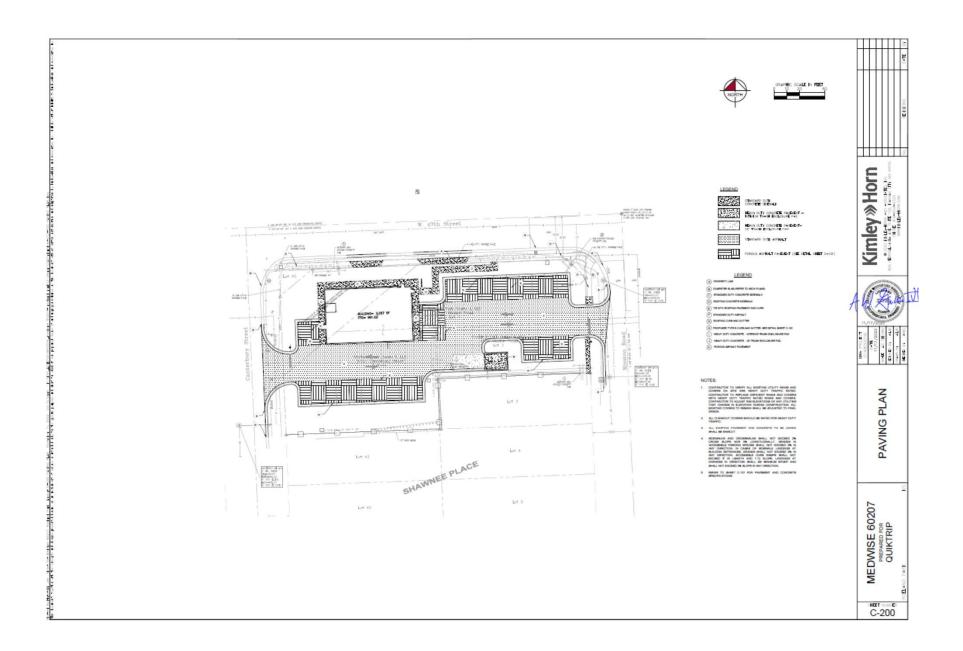


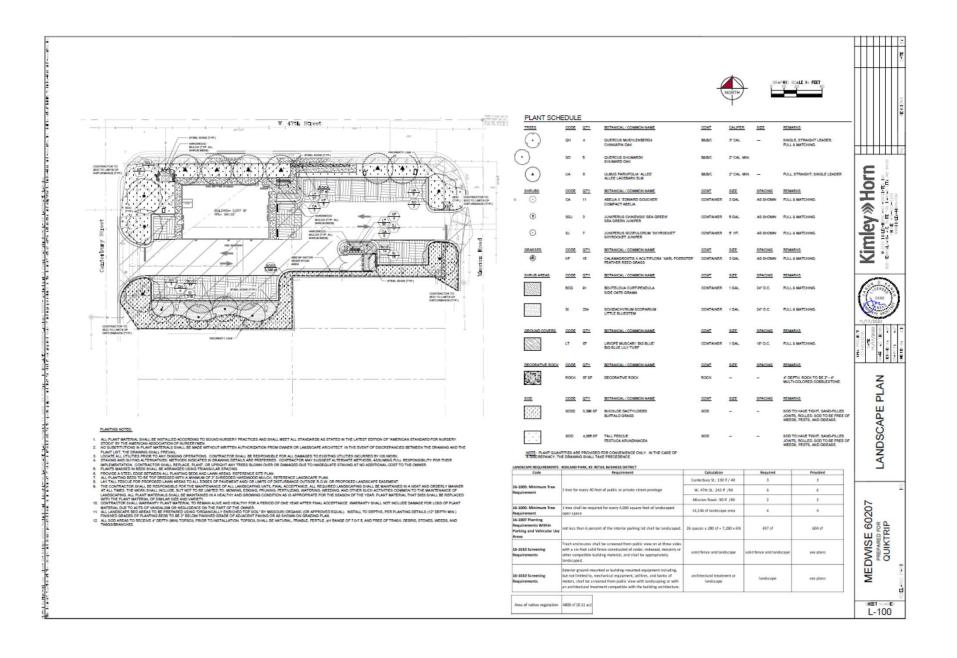


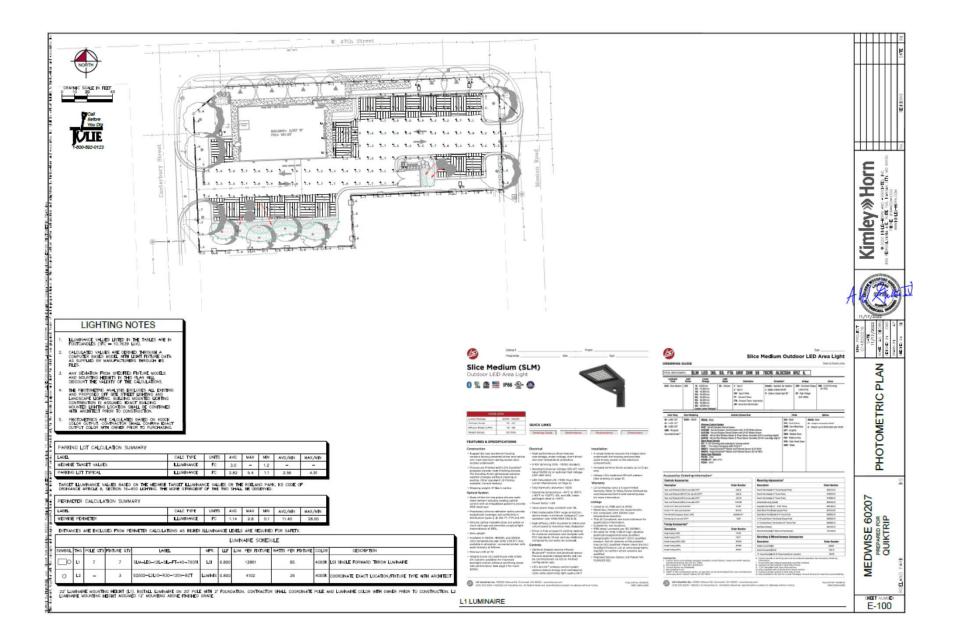


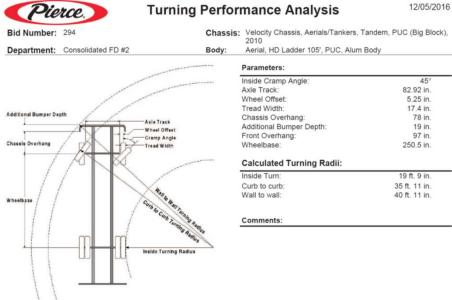












Definitions:	
Inside CrampAngle	Maximum turning angle of the front inside fire.
Axle Track	King-pin to King-pin distance of front axle.
Wheel Offset	Offset from the center line of the wheel to the King-pin.
Tread Width	Width of the tire tread.
Chassis Overhang	Distance of the center line of the front axle to the front edge of the cab. This does not include the bumper depth.
Additional Bumper Wheel	Depth that the bumper assembly adds to the front overhang.
Wheelbase	Distance between the center lines of the vehicles front and rear axles.
Inside Turning Radius	Radius of the smallest circle around which the vehicle can turn.
Curb to Curb Turning Radius	Radius of the smallest circle around which the vehicle's tires can turn. This measures assumes a curb height of 9 inches.
Wall to Wall Turning Radius	Radius of the smallest circle around which the vehicle's tires can turn. This measures takes into account any front overhang due to chassis , bumper extensions and or aerial devices.

Description Category Option Axle, Front, Custom Axle, Front, Oshkosh TAK-4, Non Drive, 24,000 lb, Velocity (425 Tires) 0637059 Wheels, Front 0001656 Wheels, Front, 22.50" x 12.25", Steel, Hub Pilot Tires, Front 0677592 Tires, Front, Goodyear, G296 MSA, 425/65R22.50, 20 ply, Fire Service Load Rating Bumpers 0536235 Bumper, 19" Extended, Steel Painted, Imp/Vel 0660264 Aerial, 105' Heavy Duty Ladder, (750 dry/500 water), MUX Aerial Devices Notes:

Actual Inside cramp angle may be less due to highly specialized options.

Curb to Curb turning radius calculated for 9.00 inch curb.

45°





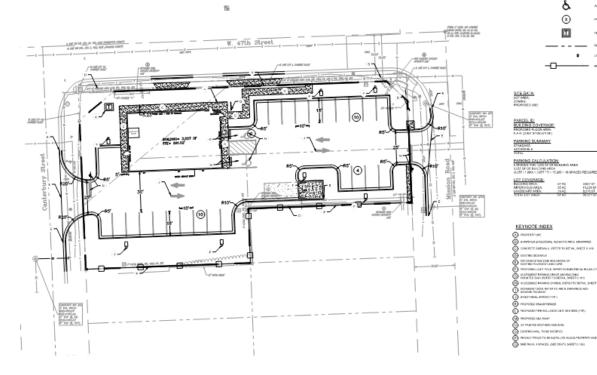
4702 Mission Road, Roeland Park, KS 66205

## **EXISTING SITE**



PROJECT LOCATION

## **PROPOSED SITE**



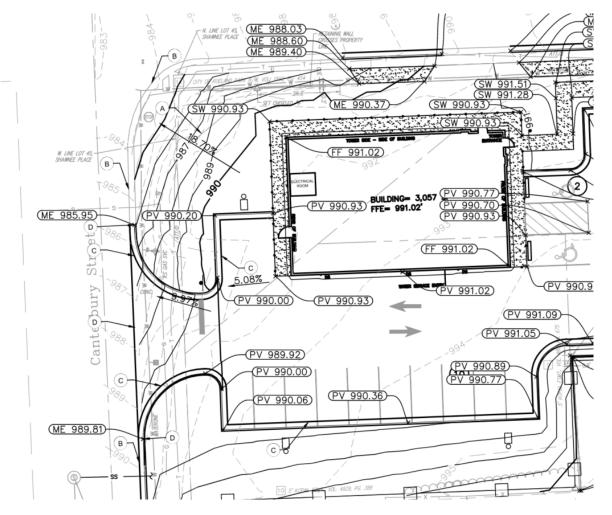


APTINE UND

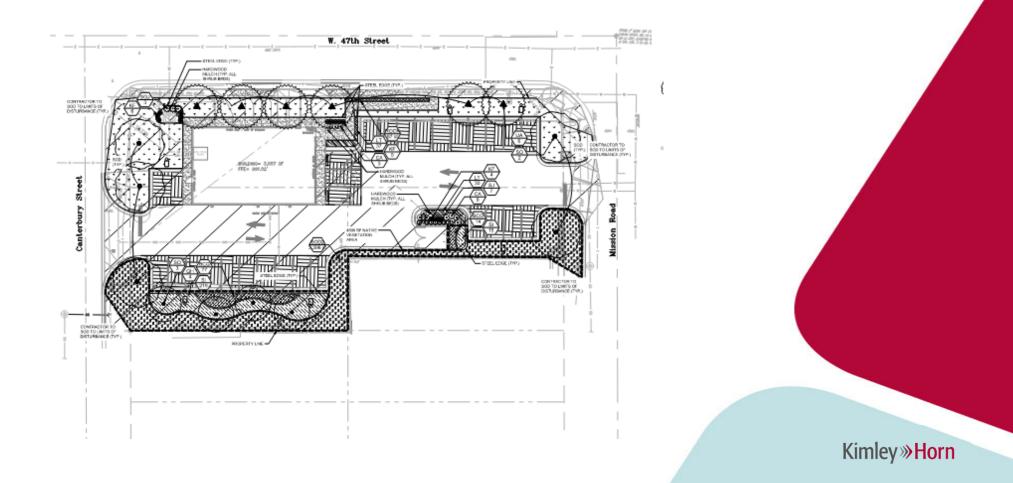
DONORCTE GORMALA, (REVER TO DETAIL, ORDER 6-114 DOT NO BOBINALS

PONEDLIGHT FOLE BARWITTON ICCIDENT FAMILY SPACE ADDRESSES NUMBER SHE PERFORMANCE SHEET OF 1912 DESIGNED MANNE STAND, IREFER TO METHIC SHEETS IN BRECKEN, ARRIVATED

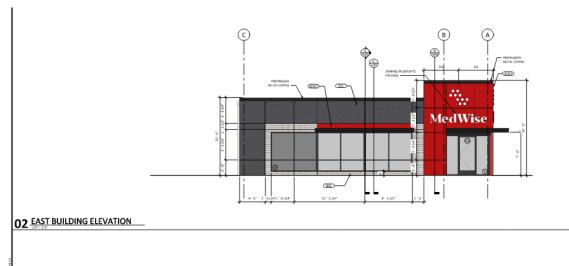
## **PROPOSED GRADING**

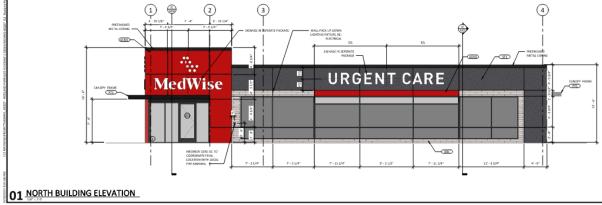


## LANDSCAPE PLAN

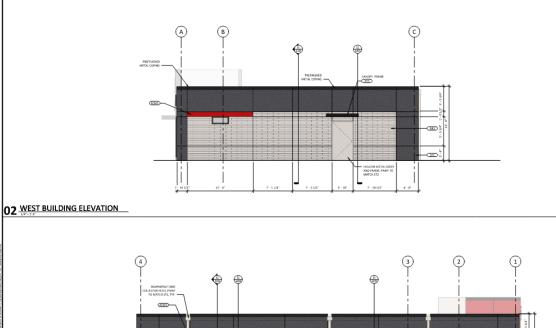


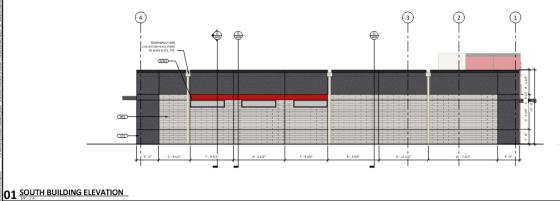
# **ARCHITECTURAL ELEVATIONS**





# **ARCHITECTURAL ELEVATIONS**







## **MEDWISE FACTS**

## VISIT MEDWISE FOR:

- · Non-life-threatening injuries and illnesses in both adults and children
- · A reliable, cost-effective alternative to the emergency room
- When your primary care physician is not available
- Same-day care when you or your loved ones are visiting from out-oftown

### SERVICES OFFERED:

- · Treatment of illnesses, injuries, and infections
- Testing for COVID-19, flu, strep, RSV
- · Physical exams
- Vaccinations
- Minor procedures
- Workman's comp assessments
- Drug screenings
- SERVICES OFFERED:
  - Typical hours of operations are 8am-8pm, 7 days a week (hours may vary based upon location)
  - NOT a 24 hour operating business
  - **NO** overnight hospitalization/care
  - NO ambulatory services
  - NO oxygen refill services



# **QUESTIONS?**



Item Number: Committee Meeting Date: Action Items- IV.-1. 12/20/2022



#### **City of Roeland Park**

Action Item Summary

Date:	12/13/2022
Submitted By:	John Jacobson
Committee/Department:	Neighborhood Services
Title:	Approve Preliminary Development Plan and Rezoning From SFR and Retail Business to CP-2 Planned General Business for Medwise Site
Item Type:	Discussion

#### Recommendation:

Approve the Preliminary Development Plan and Rezoning of all three parcels from Single Family Residential and Retail Business to CP-2 Planned General Business.

#### **Details:**

See attached developers request for rezoning as well as staff report for the public hearing on the preliminary development plan and rezoning.

The applicant has requested not to construct a sidewalk along their Canterbury frontage. Staff recommends sidewalk be constructed along each of the 3 street frontages for the site. It is a commercial site which generates more foot traffic and the City's Bike and Sidewalk Infrastructure plan reflects sidewalk on both sides of Canterbury.

#### **Financial Impact**

	Amount of Request: NA
Budgeted Item? Budgeted Amount: NA	
Line	Item Code/Description: NA

Additional Information

#### How does item benefit Community for all Ages?

#### ATTACHMENTS:

#### Description

- D Submittal Docs
- Future Land Use Plan
- Medwise Presentation 12-20-22

#### Туре

Cover Memo Cover Memo Cover Memo

## **Kimley**»Horn

October 4, 2022

John Jacobson City of Roeland Park Building 4600 W 51<sup>st</sup> St Roeland Park, KS 66205

#### Re: MedWise Medical Facility 4702 Mission Rd, Roeland Park, KS

Dear Mr. Jacobson,

This letter is being provided to explain the reasoning behind the application for rezoning for the MedWise site in Roeland Park. A section of the property proposed to be a MedWise urgent care is not zoned correctly for this use. 4707 Canterbury Street is currently zoned Single Family Residential, and the proposed MedWise site will need to be zoned Retail Business. For this reason, we are requesting a rezone of the site to Retail Business.

Sincerely, *Kimley-Horn and Associates, Inc.* 

W Summer II

Andrew W. Gribble IV, P.E. Project Manager

Fee:	
Rec'd By	
Date Paid	

N

### **APPLICATION FOR REZONING** City of Roeland Park, Kansas PLEASE PRINT

Case No.:	
Planning Commission	
Date	

Applicant/Agent's Name(s) Ashley Go	odrich Phone	918-615-7273	
Mailing Address _ 4705 S 129th East Ave	Tulsa	OK	74134
Street	City	State	Zip
Property Owner's Name(s) Roeland P	ark Series I LLC Phone		
Mailing Address 3002 W 47th Ave	Kansas City	KS	66103
Street	City	State	Zip
Requested Rezoning From: Single Fa	mily Residence to F	etail Business	
	Present Zoning District	Proposed Zoning District	
Location of property 4702 Mission Rd, 4	706 Mission Rd, and 4707 Can	tebury St	
Subdivision: Shawnee Place			
Land departments and Association (		->	
		_(Attached legal description	on must be typed).
SFR Commercial (100 th		1 and a	ACUL CP-1
Current Land Use Commercial QCM	Proposed Land Use:		JITTLE -
Reasons for requesting zoning 4707 Cante	bury St is currently zoned SFR.	and it needs rezoned to	0
match the o	ther two parcels (RB) in the proj	ect boundary.	
appley it	oodrich	8/19/2022	
Applicant signature	Date		
Note: For rezoning procedure, see application	on form for Development Plan Ap	proval.	

To Be Filled in by the City:	Fee Paid \$	Date	Received b	у:
Proof of ownership and/or authori	zation of agent affi	davit(s) submitted. Date: _		/
Technical studies required?				
Assurances of adequate public facil	ities received. 🗆 Ye	es 🛛 No If yes, date recei	ived	
Date application deemed complete				
Surrounding property owners noti			publication:	Sign Posted
Date notices sent:		Public He	earing date:	
Planning Commission recommenda	ation:		Date:	
City Council Action:	Date:	Ordinar	nce # Pu	blication Date:

#### **PROOF OF OWNERSHIP AFFIDAVIT**

STATE OF Kansas	)
COUNTY OF John Son	) SS _)
Jeffrey A. Stehney	

\_\_\_\_\_, being first duly sworn upon his/her oath deposes and states as

follows:

#### (1) [FILL IN ONLY IF APPLICATION SUBMITTED ON BEHALF OF THE LEGAL OWNER]

That Roeland Park Series I, LLC, a Kansas Limited Liability Company

(Name of owner signing Affidavit; if owner is a corporation or business, name of individual signing Affidavit, capacity and exact name and legal status of said corporation or business) is/are the legal owner/authorized official of the legal owner of the property that is the subject of Rezoning No. \_\_\_\_\_/Special Use Permit No. \_\_\_\_\_/(Other)\_\_\_\_\_. (ALL OWNERS OF RECORD MUST FILE AN AFFIDAVIT).

#### (2) [FILL IN ONLY IF APPLICATION SUBMITTED ON BEHALF OF A CONTRACT PURCHASER]

That\_\_\_

(Name of contract purchaser signing Affidavit; if a corporation or business, exact name and legal status of said corporation or business) is the holder of a contract to purchase the property that is the subject of Rezoning No. \_\_\_\_\_/ Special Use Permit No.\_\_\_\_\_/ (Other)\_\_\_\_\_\_ from the owner(s) and is therefore a "landowner" within the meaning of the Zoning Regulations.

Subscribed and sworn to before me this 2/2 day of Notary Public

My commission expires:

2/15/33

A NO	TARY PUBLIC - State of Kansas
	PAMELA G. TAYLOR
	My Appt. Exp. 2/15/23

#### LEGAL DESCRIPTION:

#### TRACT 1:

LOT 2, SHAWNEE PLACE, A SUBDIVISION IN THE CITY OF ROELAND PARK, JOHNSON COUNTY, KANSAS, ACCORDING TO THE RECORDED PLAT FILED IN PLAT BOOK 3, PAGE 15.

#### TRACT 2:

LOT 44, SHAWNEE PLACE, A SUBDIVISION IN THE CITY OF ROELAND PARK, JOHNSON COUNTY, KANSAS AND ALL THAT PART OF THE SOUTHERLY HALF OF THE FORMER RIGHT-OF-WAY OF THE MISSOURI AND KANSAS RAILROAD COMPANY WHICH LIES ADJACENT AND AT RIGHT ANGLES TO THE NORTHWESTERLY LINE OF SAID LOT 44, ACCORDING TO THE RECORDED PLAT FILED IN PLAT BOOK 3, PAGE 15.

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LOT 45, SHAWNEE PLACE, AND ALL OF LOT 1, SHAWNEE PLACE, AND ALL THAT PART OF THE FORMER MISSOURI AND KANSAS INTERURBAN RAILWAY COMPANY RIGHT OF WAY LYING SOUTHEASTERLY OF ITS CENTER LINE AND BETWEEN THE WESTERLY PROLONGATION OF THE NORTH AND SOUTH LINES OF LOT 1, SHAWNEE PLACE, A SUBDIVISION IN THE CITY OF ROELAND PARK, JOHNSON COUNTY, KANSAS SUBJECT TO THAT PART IN STREET, ACCORDING TO THE RECORDED PLAT FILED IN PLAT BOOK 3, PAGE 15.

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Loxterman, Michael J & Loxterman, Ginger M Rev Liv Tr Madison, Randall W. & Madison, Carolyn R. Gianakon, Harry G. & Gianakon, Helen L. Box, Haley A & Foglio, Christopher M Wal-mart Real Estate Business Trust Joe's Kansas City Bar-B-Que, Inc Westwood Chiropractic Inc Garcia, Tony Christopher Dold, Bertha M. Trust Bolton, Judith A. Trust Shawnee Carwash LLC ALH Enterprises, LLC 500 County Line, LLC Petty, Matthew D Adkins, Michael R JCK Holdings, LLC Pratt, Geoffrey Duggan, Mark Duggan, Mark Duggan, Mark Meyers, Sarah Fisher, Dona J Nguyen, Hai Loose, Henry B.H.J.S. L.L.C Page, Kaye

# Owner

# **Owner Address**

13008 Shawnee Mission Pkwy, Shawnee, KS 66216 13008 Shawnee Mission Pkwy, Shawnee, KS 66216 5219 Buena Vista St, Roeland Park, KS 66205 4728 Canterbury St, Roeland Park, KS 66205 4718 Canterbury St, Roeland Park, KS 66205 4721 Canterbury St, Roeland Park, KS 66205 4719 Canterbury St, Roeland Park, KS 66205 4715 Canterbury St, Roeland Park, KS 66205 4711 Canterbury St, Roeland Park, KS 66205 4716 Canterbury St, Roeland Park, KS 66205 4715 Falmouth St, Roeland Park, KS 66205 5420 W 61st Pl Ste 200, Mission, KS 66205 4710 Mission Rd, Roeland Park, KS 66205 <sup>2</sup>O Box 7009, Shawnee Mission, KS 66207 4711 Mission Rd, Roeland Park, KS 66205 3002 W 47th Ave, Kansas City, KS 66103 3213 W 47th St Roeland Park, KS 66205 3002 W 47th Ave, Kansas City, KS 66103 2941 W 118th Terr, Leawood, KS 66211 7761 Roe Ave Prairie Village, KS 66208 7761 Roe Ave Prairie Village, KS 66208 7761 Roe Ave Prairie Village, KS 66208 16 N. Thorpe St, Kansas City, KS 66102 <sup>2</sup>O Box 8050, Bentonville, AR 71712 6670 Outlook Dr, Mission, KS 66202 7612 Park St, Lenexa, KS 66216

70220410000127007696' 70220410000127004114' 70220410000127014519' 70220410000127014526 70220410000127014533 70220410000127014540' 70220410000127014557 70220410000127014564 70220410000127014571 70220410000127002134 0220410000127002141 70220410000127002158 70220410000127002165' 70220410000127002172' 70220410000127007917 70220410000127007924 70220410000127007818 70220410000127007672' 70220410000127007689' 0220410000127007702 70220410000127007719' 70220410000127007726' 70220410000127007733 70220410000127007740' 0220410000127007757 70220410000127004107 Certified Mailer ID #

# Status 11/18/2022

moving through network - in transit - arriving late delivered, left with individual

delivered, left with individual

delivered, left with individual

moving through network - in transit - arriving late moving through network - in transit - arriving late moving through network - in transit - arriving late moving through network - in transit - arriving late moving through network - in transit - arriving late available for Pickup

delivered, left with individual

moving through network - in transit - arriving late moving through network - in transit - arriving late moving through network - in transit - arriving late moving through network - in transit - arriving late moving through network - in transit - arriving late available for Pickup

Delivery Attempt: Action Needed (notice left - No authorized recipient available) moving through network - in transit - arriving late moving through network - in transit - arriving late Delivered, individual picked up at postal facility moving through network - in transit - arriving late delivered, left with individual available for Pickup

delivered, left with individual delivered, left with individual

#### **REZONING CHECKLIST [CODE 16-317]**

Date Submitted

Case #

Name of Project	MedWise 60207 Roeland Park
-----------------	----------------------------

Description/Type of Project: MedWise Urgent Care

I. Andrew W. Gribble IV, P.E.

\_, (Contact Person's Name - Printed), hereby certify the attached and completed application contains the information as specified in accordance with the Roeland Park City Code, I understand the submission of incomplete or inaccurate information may result in a delay in processing and action on this application. 1 Brille IV

Signature of Contact Person

10/04/2022 Date

NOTE: Some plans, because of their scale and complexity may require additional information not indicated on this checklist. You are encouraged to work closely with the Staff in advance of your actual application submittal. Please submit ONLY THOSE DRAWINGS necessary to provide information required by this checklist. Submission of construction drawing's or other nonessential drawings may delay the review process. Please check appropriate boxes (I = Included or N/I = Not Included) as the form is completed.

The following items shall be submitted in support of any application for rezoning:

- I. Legal description of the property;
- 2. A statement of the reasons why rezoning is being requested;
- 3. The written comments of the Redevelopment Committee on the concept plan, if applicable pursuant to section 16-322;
- 4. A preliminary development plan, except for rezonings to a Single-Family Residence District and Duplex Residence District;
- All studies as may reasonably be required pursuant to section 16-304; 5.
- 6. Assurances of adequate public facilities as required by section 16-305.



Wastewater

October 7, 2022

Alyssa Wherry, EIT Kimley-Horn 805 Pennsylvania Avenue Suite 150 Kansas City, MO 64105

#### RE: Sanitary Sewer Availability for PP78000000 0001 4702 Mission Road, Roeland Park, KS 66205

Dear Alyssa Wherry:

Sanitary sewer service for parcel PP78000000 0001 located at 4702 Mission Road is available. Sanitary main extension(s) and/or modification of the existing system may be required to be completed prior to the issuance of sanitary connection permits. Sanitary extensions and/or modifications required to serve this site must be completed by the developer or owner of the property in accordance with Johnson County Wastewater (JCW) procedures, standards, and specifications. Plans for extensions and/or modifications are reviewed and approved by JCW before construction can proceed.

Information on the sanitary main extension and/or modification plan review and permitting process, including fees, procedures, standards, and specifications are available on the Privately-Financed Sewer Main Projects page at <a href="https://www.jocogov.org/department/wastewater/developers-engineers-contractors/privately-financed-sewer-main-development">https://www.jocogov.org/department/wastewater/developers-engineers-contractors/privately-financed-sewer-main-development</a>. Documents required for review shall meet JCW's Minimum Plan Requirements for Gravity Sewer Main Projects.

In addition, a JCW sewer connection permit is required. Requirements for JCW commercial building Permitting available are on the commercial permitting page at https://www.jocogov.org/department/wastewater/developers-engineers-contractors/commercialpermitting. For commercial building construction and all tenant finish projects, complete the JCW online Commercial Connection Permit application and provide a copy of the completed JCW online application with a complete set of project plans (including all site and building plans) to JCW's Commercial Plan Review Group to initiate the review process. The commercial permit submittals are to be made no later than the submittal to the City for building permitting. A connection fee schedule is also available on the Commercial Permitting page.

If you have any questions, please contact me at 913-715-8542

Sincerely,

4 Shannon Parks Date: 2022.10.07 11:02:50-05'00'

Digitally signed by

Shannon Parks, PE New Development Compliance Engineer

(913) 715-8500 phone (913) 715-8501 fax TTY/TDD 1-800-766-3777

11811 S. Sunset Drive Suite 2500 Olathe, Kansas 66061-7061 http://www.jocogov.org/dept/wastewater



October 6, 2022

Alyssa Wherry Kimley-Horn 805 Pennsylvania Avenue, Suite 150 Kansas City, MO 64105

#### RE: MedWise Urgent Care 4702 Mission Rd Roeland Park, KS, 66205

To Whom It May Concern:

At your request, Evergy is providing this acknowledgement that the above-mentioned property is within Evergy's service territory and, consequently, Evergy will serve the project consistent with its General Rules and Regulations. This correspondence is not a guarantee of service on any specific timeline. Changes, delays, or additions to the project's design, timeline, and installation may result in delays or additional equipment necessary to ensure service upon completion of the project. Additionally, Evergy is subject to the availability of distribution equipment and any supply chain disruptions may affect Evergy's ability to provide service.

All projects must conform to Evergy's Electrical Service Standards and service is dependent upon a timely application for electrical service and supporting information. Upon submission of updated project information, Evergy will work with you to provide information regarding our timeline for provision of service.

Sincerely,

Jwen Corches

Gwen Corches Field Design Supervisor Evergy 16215 W 108<sup>th</sup> St. Lenexa, KS, 66219 816-652-1842



Overland Park, KS 66214 kansasgasservice.com

October 6, 2022

Ms. Ashley Goodrich QuikTrip Corporation 4705 S. 129<sup>th</sup> East Ave. Tulsa, OK 74134

Re: "Will Serve" Letter - 4702 Mission Rd., Roeland Park, KS

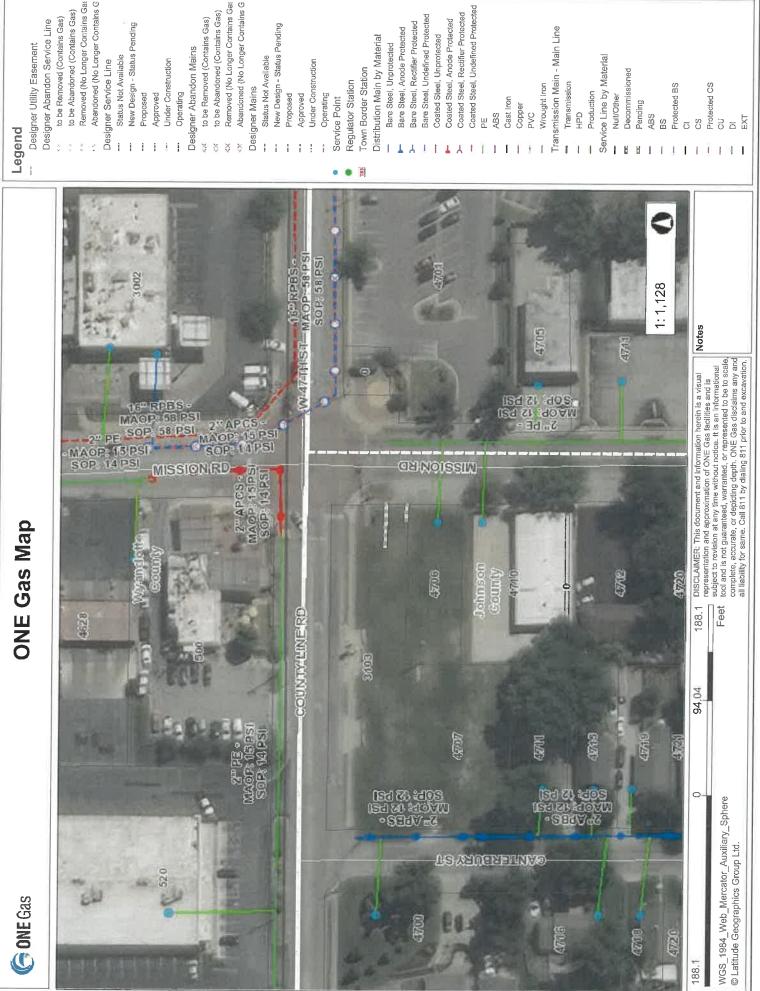
Dear Ms. Goodrich,

This letter is to confirm Kansas Gas Service has gas main facilities in the vicinity of 4702 Mission Rd., Roeland Park, KS. The best route to get service to the site, installation of new gas main, easements, relocation of existing pipe location or size, grade changes, location of gas meters, termination of old services, or any cost associated would still need to be determined. Please consult with us prior to finalizing your plans so Kansas Gas Service can determine the best route to provide service to the project, adequate space and safe locations for all gas meters. A map of our facilities is attached for your information.

Feel free to contact me if you have any questions.

Sincerely,

Bill Ahrens Project Manager III



#### Wherry, Alyssa

From: Sent: To: Subject: Wherry, Alyssa Monday, October 10, 2022 2:30 PM Wherry, Alyssa RE: [External] MedWise 60207 Roeland Park Will Serve Letter

Alyssa Wherry | E.I.T Kimley-Horn | 805 Pennsylvania Avenue, Suite 150, Kansas City, MO 64105 Direct: 816 652 2332 | Mobile: 913 608 3708 | Alyssa.wherry@kimley-horn.com *Connect with us*: Twitter | LinkedIn | Facebook | Instagram | Kimley-Horn.com

Celebrating 14 years as one of FORTUNE's 100 Best Companies to Work For

From: Zachary White <zwhite@waterone.org>
Sent: Wednesday, October 5, 2022 1:58 PM
To: Wherry, Alyssa <Alyssa.Wherry@kimley-horn.com>
Subject: RE: [External] MedWise 60207 Roeland Park Will Serve Letter

To whom it may concern-

The property located at 4702 Mission Rd in Roeland Park Ks can be served by water service from WaterOne. There is a 8" DIP water main on the north side of the property on the south side of 47<sup>th</sup> St. and there is also a 8" CAS water main on the east side of Mission Rd.

Let me know if you have any further questions. Thanks

#### Zach White

Developer Services Technician WaterOne | 10747 Renner Blvd. |Lenexa, KS 66219 Office: 913-895-5753 | <u>zwhite@waterone.org</u> Cell: 913-293-8960



From: Wherry, Alyssa <<u>Alyssa.Wherry@kimley-horn.com</u>> Sent: Wednesday, October 5, 2022 10:13 AM To: Zachary White <<u>zwhite@waterone.org</u>> Cc: Gribble, Andrew <<u>andrew.gribble@kimley-horn.com</u>> Subject: [External] MedWise 60207 Roeland Park Will Serve Letter

Good morning Zach,

Do you know who I can contact to get a will serve letter from WaterOne for one of our projects? It is for a MedWise urgent care at 4702 Mission Rd in Roeland Park, KS.

Thank you, Alyssa Wherry | E.I.T Kimley-Horn | 805 Pennsylvania Avenue, Suite 150, Kansas City, MO 64105 Direct: 816 652 2332 | Mobile: 913 608 3708 | <u>Alyssa.wherry@kimley-horn.com</u> *Connect with us*: Twitter | LinkedIn | Facebook | Instagram | Kimley-Horn.com

Celebrating 14 years as one of FORTUNE's 100 Best Companies to Work For

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#### **Kimley**»Horn

November 9, 2022

Re: Property located at 4702 Mission Rd. Roeland Park, KS 66205 proposed rezoning from Single family to General Business District and Preliminary Development Plan to allow for the construction of a building and site for the purpose of operating an urgent care facility.

Dear Property Owner,

This letter is to notify you that the Roeland Park Planning Commission will hold a public hearing at 6:00 pm on December 20, 2022, at Roeland Park City Hall, 4600 W. 51<sup>st</sup> St., Roeland Park, KS to consider approval of the above referenced rezoning / Preliminary Development Plan and platting.

Attachment:

- legal description for the subject property.
- Updated Site Plan

All interested property owners are invited to attend and be heard. More information on this application and copies of any submitted plans are available from the City or by contacting the undersigned.

Please do not hesitate to contact me if you have any questions concerning this matter.

Sincerely,

Andrew W. Gribble IV, P.E.

**Project Manager** 

0) 816-652-2333



#### **Kimley**»Horn

#### **LEGAL DESCRIPTION:**

TRACT 1:

LOT 2, SHAWNEE PLACE, A SUBDIVISION IN THE CITY OF ROELAND PARK, JOHNSON COUNTY, KANSAS, ACCORDING TO THE RECORDED PLAT FILED IN PLAT BOOK 3, PAGE 15.

#### TRACT 2:

LOT 44, SHAWNEE PLACE, A SUBDIVISION IN THE CITY OF ROELAND PARK, JOHNSON COUNTY, KANSAS AND ALL THAT PART OF THE SOUTHERLY HALF OF THE FORMER RIGHT-OF-WAY OF THE MISSOURI AND KANSAS RAILROAD COMPANY WHICH LIES ADJACENT AND AT RIGHT ANGLES TO THE NORTHWESTERLY LINE OF SAID LOT 44, ACCORDING TO THE RECORDED PLAT FILED IN PLAT BOOK 3, PAGE 15.

#### TRACT 3:

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Nguyen, Hai Duggan, Mark Duggan, Mark Duggan, Mark Petty, Matthew D Pratt, Geoffrey Dold, Bertha M. Trust Fisher, Dona J Meyers, Sarah Madison, Randall W. & Madison, Carolyn R. Gianakon, Harry G. & Gianakon, Helen L. Box, Haley A & Foglio, Christopher M Adkins, Michael R Loose, Henry Garcia, Tony Christopher ALH Enterprises, LLC Page, Kaye Bolton, Judith A. Trust Westwood Chiropractic Inc JCK Holdings, LLC Wal-mart Real Estate Business Trust Loxterman, Michael J & Loxterman, Ginger M Rev Liv Tr 500 County Line, LLC B.H.J.S. L.L.C Shawnee Carwash LLC Joe's Kansas City Bar-B-Que, Inc

Owner

#### **Owner Address**

3213 W 47th St Roeland Park, KS 66205 7761 Roe Ave Prairie Village, KS 66208 7761 Roe Ave Prairie Village, KS 66208 7761 Roe Ave Prairie Village, KS 66208 4715 Falmouth St, Roeland Park, KS 66205 4728 Canterbury St, Roeland Park, KS 66205 6670 Outlook Dr, Mission, KS 66202 4718 Canterbury St, Roeland Park, KS 66205 4716 Canterbury St, Roeland Park, KS 66205 7612 Park St, Lenexa, KS 66216 16 N. Thorpe St, Kansas City, KS 66102 4721 Canterbury St, Roeland Park, KS 66205 4719 Canterbury St, Roeland Park, KS 66205 4715 Canterbury St, Roeland Park, KS 66205 4711 Canterbury St, Roeland Park, KS 66205 4710 Mission Rd, Roeland Park, KS 66205 PO Box 7009, Shawnee Mission, KS 66207 2941 W 118th Terr, Leawood, KS 66211 4711 Mission Rd, Roeland Park, KS 66205 5420 W 61st Pl Ste 200, Mission, KS 66205 PO Box 8050, Bentonville, AR 71712 5219 Buena Vista St, Roeland Park, KS 66205 3002 W 47th Ave, Kansas City, KS 66103 13008 Shawnee Mission Pkwy, Shawnee, KS 66216 13008 Shawnee Mission Pkwy, Shawnee, KS 66216 3002 W 47th Ave, Kansas City, KS 66103

#### The Legal Record

1701 E. Cedar St., Ste. 111 Olathe, KS 66062-1775 (913) 780-5790

ATTN: KELLEY NIELSEN CITY OF ROELAND PARK 4600 W 51ST STREET ROELAND PARK KS 66205-3500

## **Proof of Publication**

STATE OF KANSAS, JOHNSON COUNTY, SS; Maureen Gillespie, of lawful age, being first duly sworn, deposes and says that she is Legal Notices Clerk for The Legal Record which is a newspaper printed in the State of Kansas, published in and of general paid circulation on a weekly, monthly or yearly basis in Johnson County, Kansas, is not a trade, religious or fraternal publication, is published at least weekly fifty (50) times a year, has been so published continuously and uninterrupted in said County and State for a period of more than one year prior to the first publication of the notice attached, and has been entered at the post office as Periodicals Class mail matter. That a notice was published in all editions of the regular and entire issue for the following subject matter (also identified by the following case number, if any) for 1 consecutive week(s), as follows:

HEARING - REZONING 4702 47TH STREET, 4707 CANTERBURY & 4706 MISSION ROAD 11/29/22

Maureen Gillespie, Legal Notices Billing Clerk Subscribed and sworn to before me on this date:

November 29, 2022

Notary Public

DEBRA VALENTI Notary Public-State of Kansas My Appt. Expires Aug. 21, 2023

L10042 Publication Fees: \$21.59 First published in The Legal Record, Tuesday, November 29, 2022. PUBLIC HEARING NOTICE

Notice is hereby given to any and all persons that a Rezoning and preliminary development plan action affecting a specific parcel located in the City of Roeland Park, Johnson County, Kansas, will be considered at a public hearing of the City of Roeland Park Planning Commission.

The owner has submitted a rezoning and preliminary development plan application in compliance with the zoning regulations and as part of a development action for "Medwise", a single structure urgent care development in Roeland Park, Kansas. The request is to change the zoning district from Single Family Residential to CP-2 Planned General Business District

The properties are located at 4702 47th Street, 4707 Canterbury and 4706 Mission Road, Roeland Park, Kansas. The request is to rezone the lot for the purpose of building a new urgent care facility. A legal description of the properties involved is:

LEGAL DESCRIPTION: TRACT 1:

LOT 2, SHAWNEE PLACE, A SUBDIVISION IN THE CITY OF ROELAND PARK, JOHNSON COUNTY, KANSAS, ACCORDING TO THE RECORDED PLAT FILED IN PLAT BOOK 3, PAGE 15.

TRACT 2:

LOT 44, SHAWNEE PLACE, A SUBDIVISION IN THE CITY OF ROELAND PARK, JOHNSON COUNTY, KANSAS AND ALL THAT PART OF THE SOUTHERLY HALF OF THE FORMER RIGHT-OF-WAY OF THE MISSOURI AND KANSAS RAILROAD COMPANY WHICH LIES ADJACENT AND AT RIGHT ANGLES TO THE NORTHWESTERLY LINE OF SAID LOT 44, ACCORDING TO THE RECORDED PLAT FILED IN PLAT BOOK 3, PAGE 15.

#### TRACT 3:

LOT 45, SHAWNEE PLACE, AND ALL OF LOT 1, SHAWNEE PLACE, AND ALL THAT PART OF THE FORMER MISSOURI AND KANSAS INTERURBAN RAILWAY COMPANY RIGHT OF WAY LYING SOUTHEASTERLY OF ITS CENTER LINE AND BETWEEN THE WESTERLY PROLONGATION OF THE NORTH AND SOUTH LINES OF LOT 1, SHAWNEE PLACE, A SUBDIVISION IN THE CITY OF ROELAND PARK, JOHNSON COUNTY, KANSAS SUBJECT TO THAT PART IN STREET, ACCORDING TO THE RECORDED PLAT FILED IN PLAT BOOK 3, PAGE 15.

The public hearing will be held December 20, 2022, at 6:00 p.m. in the Council Chamber of Roeland Park City Hall, 4600 W.51st Roeland Park Kansas. At that time and place, all interested persons will be granted a hearing by the city of Roeland Park Planning Commission. 11/29



October 7, 2022

Alyssa Wherry, EIT Kimley-Horn 805 Pennsylvania Avenue Suite 150 Kansas City, MO 64105

#### RE: Sanitary Sewer Availability for PP78000000 0001 4702 Mission Road, Roeland Park, KS 66205

Dear Alyssa Wherry:

Sanitary sewer service for parcel PP78000000 0001 located at 4702 Mission Road is available. Sanitary main extension(s) and/or modification of the existing system may be required to be completed prior to the issuance of sanitary connection permits. Sanitary extensions and/or modifications required to serve this site must be completed by the developer or owner of the property in accordance with Johnson County Wastewater (JCW) procedures, standards, and specifications. Plans for extensions and/or modifications are reviewed and approved by JCW before construction can proceed.

Information on the sanitary main extension and/or modification plan review and permitting process, including fees, procedures, standards, and specifications are available on the Privately-Financed Sewer Main Projects page at <a href="https://www.jocogov.org/department/wastewater/developers-engineers-contractors/privately-financed-sewer-main-development">https://www.jocogov.org/department/wastewater/developers-engineers-contractors/privately-financed-sewer-main-development</a>. Documents required for review shall meet JCW's Minimum Plan Requirements for Gravity Sewer Main Projects.

In addition, a JCW sewer connection permit is required. Requirements for JCW commercial building Permitting are available on the commercial permitting page at https://www.jocogov.org/department/wastewater/developers-engineers-contractors/commercialpermitting. For commercial building construction and all tenant finish projects, complete the JCW online Commercial Connection Permit application and provide a copy of the completed JCW online application with a complete set of project plans (including all site and building plans) to JCW's Commercial Plan Review Group to initiate the review process. The commercial permit submittals are to be made no later than the submittal to the City for building permitting. A connection fee schedule is also available on the Commercial Permitting page.

If you have any questions, please contact me at 913-715-8542

Sincerely,

Digitally signed by Shannon Parks Naunu Las

Date: 2022.10.07 11:02:50-05'00' Shannon Parks, PE

New Development Compliance Engineer

(913) 715-8500 phone (913) 715-8501 fax TTY/TDD 1-800-766-3777



October 6, 2022

Alyssa Wherry Kimley-Horn 805 Pennsylvania Avenue, Suite 150 Kansas City, MO 64105

#### RE: MedWise Urgent Care 4702 Mission Rd Roeland Park, KS, 66205

To Whom It May Concern:

At your request, Evergy is providing this acknowledgement that the above-mentioned property is within Evergy's service territory and, consequently, Evergy will serve the project consistent with its General Rules and Regulations. This correspondence is not a guarantee of service on any specific timeline. Changes, delays, or additions to the project's design, timeline, and installation may result in delays or additional equipment necessary to ensure service upon completion of the project. Additionally, Evergy is subject to the availability of distribution equipment and any supply chain disruptions may affect Evergy's ability to provide service.

All projects must conform to Evergy's Electrical Service Standards and service is dependent upon a timely application for electrical service and supporting information. Upon submission of updated project information, Evergy will work with you to provide information regarding our timeline for provision of service.

Sincerely,

Jwen Corches

Gwen Corches Field Design Supervisor Evergy 16215 W 108<sup>th</sup> St. Lenexa, KS, 66219 816-652-1842



11401 West 89th Street Overland Park, KS 66214 kansasgasservice.com

October 6, 2022

Ms. Ashley Goodrich QuikTrip Corporation 4705 S. 129<sup>th</sup> East Ave. Tulsa, OK 74134

Re: "Will Serve" Letter - 4702 Mission Rd., Roeland Park, KS

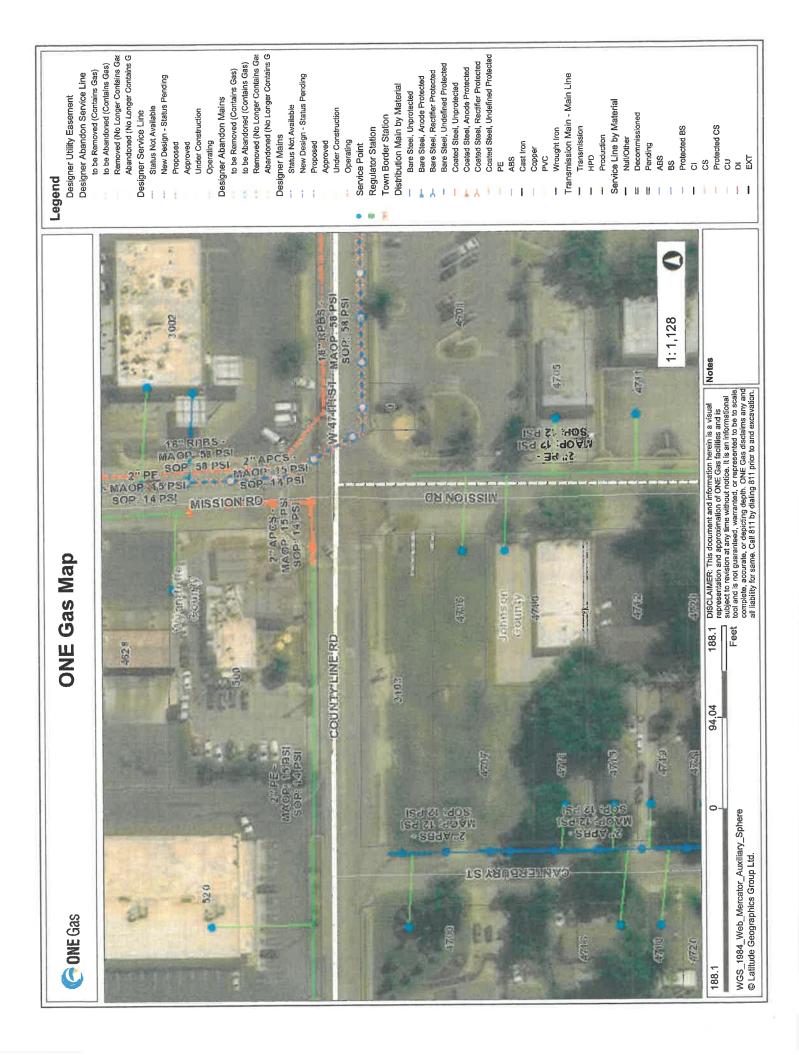
Dear Ms. Goodrich,

This letter is to confirm Kansas Gas Service has gas main facilities in the vicinity of 4702 Mission Rd., Roeland Park, KS. The best route to get service to the site, installation of new gas main, easements, relocation of existing pipe location or size, grade changes, location of gas meters, termination of old services, or any cost associated would still need to be determined. Please consult with us prior to finalizing your plans so Kansas Gas Service can determine the best route to provide service to the project, adequate space and safe locations for all gas meters. A map of our facilities is attached for your information.

Feel free to contact me if you have any questions.

Sincerely,

Bill Ahrens Project Manager III





From: Wherry, Alyssa <<u>Alyssa.Wherry@kimley-horn.com</u>> Sent: Wednesday, October 5, 2022 10:13 AM To: Zachary White <<u>zwhite@waterone.org</u>> Cc: Gribble, Andrew <<u>andrew.gribble@kimley-horn.com</u>> Subject: [External] MedWise 60207 Roeland Park Will Serve Letter

Good morning Zach,

Do you know who I can contact to get a will serve letter from WaterOne for one of our projects? It is for a MedWise urgent care at 4702 Mission Rd in Roeland Park, KS.

Thank you, Alyssa Wherry | E.I.T Kimley-Horn | 805 Pennsylvania Avenue, Suite 150, Kansas City, MO 64105 Direct: 816 652 2332 | Mobile: 913 608 3708 | <u>Alyssa.wherry@kimley-horn.com</u> *Connect with us*: Twitter | LinkedIn | Facebook | Instagram | Kimley-Horn.com

Celebrating 14 years as one of FORTUNE's 100 Best Companies to Work For

#### Wherry, Alyssa

From:	Jacobson, John <jjacobson@roelandpark.org></jjacobson@roelandpark.org>
Sent:	Thursday, October 6, 2022 8:26 AM
То:	Wherry, Alyssa
Subject:	RE: [External] MedWise 60207 Roeland Park Will Serve Letter

Alyssa-Emails are find so long as the logo is present. John

From: Wherry, Alyssa <Alyssa.Wherry@kimley-horn.com> Sent: Wednesday, October 05, 2022 5:19 PM To: Jacobson, John <jjacobson@roelandpark.org> Subject: FW: [External] MedWise 60207 Roeland Park Will Serve Letter

Hi John,

Is this email okay for WaterOne, or would you like it on an official letterhead?

Thank you, Alyssa Wherry | E.I.T Kimley-Horn | 805 Pennsylvania Avenue, Suite 150, Kansas City, MO 64105 Direct: 816 652 2332 | Mobile: 913 608 3708 | <u>Alyssa.wherry@kimley-horn.com</u> *Connect with us*: Twitter | LinkedIn | Facebook | Instagram | Kimley-Horn.com

Celebrating 14 years as one of FORTUNE's 100 Best Companies to Work For

From: Zachary White <<u>zwhite@waterone.org</u>> Sent: Wednesday, October 5, 2022 1:58 PM To: Wherry, Alyssa <<u>Alyssa.Wherry@kimley-horn.com</u>> Subject: RE: [External] MedWise 60207 Roeland Park Will Serve Letter

To whom it may concern-

The property located at 4702 Mission Rd in Roeland Park Ks can be served by water service from WaterOne. There is a 8" DIP water main on the north side of the property on the south side of 47<sup>th</sup> St. and there is also a 8" CAS water main on the east side of Mission Rd.

Let me know if you have any further questions. Thanks

#### Zach White

Developer Services Technician WaterOne | 10747 Renner Blvd. |Lenexa, KS 66219 Office: 913-895-5753 | <u>zwhite@waterone.org</u> Cell: 913-293-8960

This document was created by an application that isn't licensed to use <u>novaPDF</u>. Purchase a license to generate PDF files without this notice.

Date Paid DEVELOP	PLICATION FOR MENT PLAN APPR f Roeland Park, Kans PLEASE PRINT	
Requested Action:	F	ee
Preliminary Development Plan	\$40	
Revised Preliminary Development Plan	\$40	
Sinal Development Plan	\$650	
Revised Final Development Plan	\$650	
<ul> <li>Landscaping Plan</li> </ul>	\$12	
<ul> <li>Site Plan (non-residential development in r</li> </ul>		
	esidential district) \$150	5.00
Name of Development:MedWise 60207 - Roel	and Park	
Location: 4702 Mission Rd, Roeland Park, KS	8	
Range <u>25E</u> Township <u>12S</u> Section.		
	<b>`</b>	ntNW
Existing Zoning: Retail Business	Present use of Pr	operty:
Is Property subject to rezoning? Yes No Applicant: Ashley Goodrich	ls Property subjec	ct to Special Use Permit? Yes No
Address: 4705 S 129th East Ave		Phone: 918-615-7273
City:Tulsa	State: OK	Zip: 74134
Property Owner: <u>Roeland Park Series I LLC</u> Address: 3002 W 47th Ave		Dhamai
	· · · · · · · · · · · · · · · · · · ·	Phone:
City:Kansas City	_ State:KS	Zip: <u>66103</u>
Engineer/Surveyor/Architect: <u>Andrew Gribble</u>		
Address: 805 Pennslyvania Ave		Phone:816-652-2333
City: Kansas City	State: MO	Zip:64105
Applicant signature		Date
To be completed by the City: Fee Paid \$	Date	Received by:
Proof of ownership and/or authorization of agent affidavit(	s) submitted. Date:	
Rezoning Case No.     Special Use Perm	nit No	Previous Plan Approval:
City Engineer review and comment submitted		
Technical studies required? □ Yes □ No If yes, what type Assurances of adequate public facilities received. □ Yes □	and when submitted?	
Supporting materials required:	Date Submitted:	
Date application deemed complete:		
Surrounding property owners notified:		Sign Posted
Date notices sent: Planning Commission recommendation:	rublic Hearing date:	Date:
City Council Action:		Date:

#### PRELIMINARY DEVELOPMENT PLANS CHECKLIST [CODE 16-323]

Date Submitted

Case #

MedWise 60207 - Roeland Park Name of Project

Description/Type of Project: Proposed Urgent Care Facility

Ashley Goodrich Ι,\_\_\_ , (Contact Person's Name - Printed), hereby certify the attached and completed application contains the information as specified in accordance with the Roeland Park City Code. I understand the submission of incomplete or inaccurate information may result in a delay in processing and action on this application.

achlus Dordrich

Signature of Contact Person

NOTE: Some plans, because of their scale and complexity may require additional information not indicated on this checklist. You are encouraged to work closely with the Staff in advance of your actual application submittal. Please submit ONLY THOSE DRAWINGS necessary to provide information required by this checklist. Submission of construction drawings or other nonessential drawings may delay the review process. Please check appropriate boxes (I = Included or N/I = NotIncluded) as the form is completed.

- XI 🗆 N/I
  - 1. Application form
  - 2. Eight copies of the preliminary site development plan that must include the following information:
  - ⊠ | □ N/| **GENERAL INFORMATION** 
    - North arrow: a.
    - Scale; b.
    - Date of plan preparation; c.
    - Name and address of landowner. d.
  - 🛛 🗌 N/I SITE DEVELOPMENT
    - Location and dimension of buildings and other structures: a.
    - Location and dimensions of parking areas; b.
    - c. Location and dimensions of drives and walks;
    - d. Location and dimension of public streets and all easements;
    - General extent and character of proposed landscaping and screening; e.
    - f. Proposed drainage patterns.
    - Adjacent development (property within 200 feet) including lot lines, building footprints, access g. points and parking areas;
    - Existing topography with contours at 5-foot intervals, and delineating any land areas within the h. 100-year flood plain;
    - i. Location and size of any drainage structures, such as culverts, paved or earthen ditches or storm water sewers and inlets;
    - j. Preliminary sketch drawings of elevations and floor plans depicting the general style, size and exterior construction materials of the buildings.
  - ADDITIONAL INFORMATION ⊠ I □ N/I
    - Schedule indicating total floor area and land area: a.
    - Parking Schedule showing the number of space provided and required for all existing buildings, b. and all spaces required for proposed buildings;
    - Name and address of architect, landscape architect, planner, engineer, surveyor, or other person c. involved in the preparation of the plan.
    - 3. All required studies pursuant to section 16-304.
  - $\Box \mid \Box N/I$ **TECHNICAL STUDIES** 
    - Traffic Study; a.
    - Parking Study; b.
    - с. Lighting Study;
    - d. Drainage Study;
    - Geo-technical Study; e.
    - f. Other (specify)\_
    - Assurances of adequate public facilities as required by section 16-305. 4.
    - Assurances of proof of ownership and/or authorization of agent as required by section 16-302. 5.

07/20/2022

Date

#### Jacobson, John

From: Sent: To: Cc: Subject: Attachments: Jacobson, John Friday, August 05, 2022 2:27 PM Wherry, Alyssa Erin Winn; Moody, Keith 2022-07-22 MedWise 60207 Roeland Park - Arch Plans.pdf 2022-07-22 MedWise 60207 Roeland Park - Arch Plans.pdf

#### Hi Allyssa,

There a number of comments on the submittal. In the interest of time, I'll submit those via this email versus a formal letter. Please let me know if you have additional questions.

V/R

John Jacobson

#### Architectural:

- 1) The submittal should be compliant with the design element requirements of the 47<sup>th</sup> Street/Mission Overlay district. I believe this was sent to you by Erin Winn on or around the 19<sup>th</sup> of July
- 2) Signage is limited to 3 wall signs at 7% of the façade in which they are located
- 3) Please include north, south, east, west designation on elevations for reference
- 4) Give further detail on the ST-2 designation
- 5) Please state the reasoning behind building location on the site- As you recall form the pre development meetings, a structure location on the northeast section of the property is desirable from both overlay and adjoining land use concerns
- 6) Please look at fenestration on elevations fronting streets. The goal would be 10-15% on a visible portion of the building
- 7) Please consider a stone alternate to the stucco placement.

#### Civil:

- 1) Please look at the curb radius on the parking lot/mission connection
- 2) Sidewalk connection along Canterbury
- 3) Bike racks
- 4) Summary of pre and post development lighting infiltration based on the existing conditions and the photometric lighting plan. This should include any remedial elements such as fixture hoods, directional visors etc.
- 5) Any additional screening elements to separate single family neighborhoods and the proposed commercial use.

#### Platting/Zoning

- 1) Replatting will necessary since 4707 Canterbury has been included in the development area
- 2) Rezoning of the parcel will need to be completed on the parcel for the same reasons as stated above. 4707 Canterbury is currently zoned Single family residential

## **Kimley**»Horn

November 18, 2022

City of Roeland Park ATTN: John Jacobson 4600 W 51<sup>st</sup> St Roeland Park, KS 66205

#### Re: MedWise Urgent Care

#### STORM DRAINAGE STUDY

- Comment 1: Update the City reference to Roeland Park, Kansas in the Stormwater BMP's section on page 4 of the study.
- Response 1: Acknowledged. Please see the revised report.
- Comment 2: Provide calculations to support porous pavement. Include storage volume and drawdown calculations for storm events.
- Response 2: Acknowledged. We are in contact with PaveDrain to provide these calculations.
- Comment 3: Submit a signed and sealed study with the resubmittal.
- Response 3: Acknowledged. Please see the revised report.

#### SITE CONSTRUCTION PLANS

Comment 1:	Sheet C-001. Add a note indicating that all concrete in public right-of-way shall be KCMMB4k.
Response 1:	Acknowledged. Please see note 20 under Paving, Grading, and Drainage notes.
Comment 2:	Sheet C-002. Remove the existing concrete apron at the southwest corner of the project site if it is not going to be utilized for the project.
Response 2:	Acknowledged. See revised plans.
Comment 3:	Sheet C-002. Completely remove existing drive entrances along W 47th Street. Reconstruct with curb and sidewalk, conforming to the typical right-of-way cross section and slopes.
Response 3:	Acknowledged. Please see the revised plans.
Comment 4:	Sheet C-101. Provide standard details for public sidewalk, curb replacement, and
	commercial driveway approaches.
Response 4:	Acknowledged. Please see the revised detail sheets.
<b>Response</b> 4: Comment 5:	
-	Acknowledged. Please see the revised detail sheets. Sheet C-101. Provide additional details for porous pavement section. Specify porous asphalt depth, choker course depth, storage aggregate rock gradation and depth.

shall align and terminate at existing sidewalk near southeast corner of the site. Response 6: Acknowledged. Please see the revised plans. Sheet C-300. The future 5-ft sidewalk along Canterbury will be installed behind the curb Comment 7: and gutter. It appears that it is feasible to provide an accessible path across the west entrance drive to Canterbury Street, holding a 1.5% maximum cross slope adjacent to edge of pavement. The driveway approach grades can be extended further east into the drive aisle. Response 7: Based on our conversation with Dan on 2022-11-10, we are currently waiting to see if the sidewalks will be planned on the east or west side of Canterbury. As previously stated, adding a sidewalk on the east side on Canterbury will steepen the driveway entrance to over 14%. Comment 8: Sheet C-300. Consider providing more fall away from the south side of the building. We note the asphalt pavement elevation matches the finish floor elevation. Roof drains are discharged to the surface at this location, and pavement is falling away at approximately 0.67%. Response 8: Acknowledged. The pavement has been updated to fall away at 1.39%. Sheet C-300. Provide concrete wheel stops in the ADA spaces, since barrier curb is not Comment 9: provided at the head of the parking spaces. Response 9: Acknowledged. Please see the revised plans. Comment 10: Sheet C-300. Locate the ADA parking signs on the building, to remove the obstructions from the sidewalk. Response 10: Acknowledged. Please see the revised sheet C-100. Comment 11: Sheet C-300. Add ADA spot elevations to the west end of the ADA unloading space. Response 11: Acknowledged. Please see the revised sheet C-300. Comment 12: Sheet C-300. Remove the E legend tag from the sidewalk connection to the W 47th Street sidewalk. It appears to be an accessible route (slopes less than 5%). **Response 12:** Acknowledged. See revised plans. Comment 13: Sheet C-300. Remove the extraneous proposed contours to the southeast of the project, across the 4710 Mission Road property. Response 13: Acknowledged. See revised plans. Comment 14: Sheet C-400. Relocate water meter so it is in a grassed area outside of the drive approach. WaterOne permitting for water service connection will be necessary. Response 14: Acknowledged. Please see the revised sheet C-400. Comment 15: Sheet C-400. Additional information will be needed on this sheet if it is intended to be utilized for Johnson County Wastewater (JCW) commercial service permitting. Response 15: Acknowledged. Please see sheet C-401 for the JCE Commercial Connection Plan. Comment 16: Sheet C-400. The minimum slope for a 4" sanitary sewer service lateral is 2%. A 6" sanitary sewer service lateral is allowed to have a slope of 1%. The starting flowline elevation of the 4" lateral would need to be higher, considering a tee or wye fitting on the main. All sanitary sewer improvements will have to be reviewed and approved by JCW. Response 16: Acknowledged. The lateral has been updated to 6". Please see sheet C-401 for the

kimley-horn.com 805 Pennsylvania Ave, Suite 150, Kansas City, MO

#### Commercial Connection Plan for future submission to JCW.

- Comment 17: Sheet C-400. It appears there is an existing sanitary sewer manhole stub near the southwest corner of the project. Utilizing this service line may provide more slope and elevation differential. Coordination with JCW regarding the abandonment of this stub would be needed.
- Response 17: Acknowledged. The shortest run to the stub is over 220', and our current run is only 173', so stub cannot be utilized without raising the finished floor elevation. We will coordinate with JCW for the abandonment of the stub.

Please feel free to call me at 816-652-2333 if there are any questions.

Very truly yours,

KIMLEY-HORN AND ASSOCIATES, INC.

W Doble II

Andrew W. Gribble IV, P.E. Project Manager cc: File



### MedWise 60207

Storm Drainage Study

August 30th, 2022

Prepared For: QuikTrip Corporation 4705 South 129<sup>th</sup> East Ave Tulsa, OK 74134 Ashley Goodrich

Prepared By: Kimley-Horn & Associates 805 Pennsylvania Avenue, Suite 150 Kansas City, MO 64105 Andrew Gribble, PE Andrew.Gribble@Kimley-Horn.com

# Kimley »Horn

### Drainage Report Contents

Project description	3
Methodology	
Soils	3
FEMA	3
Existing Conditions	3
Proposed conditions	4
Stormwater BMP's	4
Summary & Recommendations	5

### Exhibits

Exhibit 1. Location Map
Exhibit 2. Soil Map
Exhibit 3. FEMA Map
Exhibit 4. Existing Conditions
Exhibit 5. Proposed Conditions
Exhibit 6. BMP Calculations

### **PROJECT DESCRIPTION**

Kimley-Horn and Associates has been hired by QuikTrip to provide professional civil engineering services for a new MedWise location in Roeland Park, KS. The project will generally include construction of a building with associated parking lot improvements and utility improvements on approximately 0.61 acres of previously developed land.

The scope of this project will include a new building, new drive entrances, parking lot improvements, private grading, erosion control, and building utility service lines to serve the new urgent care.

### METHODOLOGY

The Modified Rational Method was utilized to determine the effects of the development and ensure that the existing hydrologic conditions were not worsened, and the original storm plan would still work. Following the American Public Works Association (APWA) Section 5600 Storm Drainage Systems and Facilities guide, a CN value of 94 was calculated for the pre-development conditions based on aerial mapping from 2016 for the previously developed site, and a CN value of 90 was calculated for post development conditions.

### SOILS

The table below (Table 1) shows the typical soil classifications found on site. For more information, see the data obtained from the USDA Soil Survey of Roeland Park, KS (See Exhibit 2).

#### Table 1. Soil Classification

Hydrologic Soil Group (HSG)	Map Symbol	Туре	Slopes
c	7545	Sharpsburg- Urban Land	4-8%
		Complex	

### FEMA

From information obtained from FEMA (Federal Emergency Management Agency) Flood Insurance Study information, no part of the project is located within the FEMA 100-year flood plan (See Exhibit 3).

### **EXISTING CONDITIONS**

The existing site has been mass graded for development and is generally located south of W 47<sup>th</sup> St and east of Canterbury St in Roeland Park, KS (See Exhibit 4). The previous site, based on the 2016 aerial imagery from Google Earth, consisted of a commercial building and parking lot. The existing 0.61-acre site has a pre-development CN of 94.

The existing site soils are made up of Sharpsburg- Urban Land Complex with slopes ranging from 4 to 8 percent. These soils belong to the C hydrologic soil group. These soils are described as moderately well drained.

### **PROPOSED CONDITIONS**

The proposed improvements for the MedWise will include a new building, a new parking lot, sidewalks, private grading, and new utility service lines. The project will propose a new entrance to the site from Canterbury Road to the west of the site and Mission Road to the east (See Exhibit 5). The proposed site will follow existing conditions and drain stormwater to the east to the west.

The proposed development is composed of approximately 57% impervious area which results in a postdevelopment CN of 90 based off of the CN values given for various cover types in Table 4.1 of the MARC Manual. The CN calculations for the pre-development and post-development conditions are shown below:

	Land Use	Soil HSG	CN from Table 4.1 of the MARC Manual	Area (sf)	Area (ac)	Product of CN x Area
Pre (2016)	Impervious: Asphalt, Concrete, Roofs Etc.	С	98	21780	0.50	49
	Turfed Areas, good	С	74	4792	0.11	8
	Total			26572	0.61	
				Weight	ed CN =	94
Post	Impervious: Asphalt, Concrete, Roofs Etc.	с	98	15238	0.35	34
	Commercial Building	С	94	3057	0.07	7
	Turfed Areas, good	С	74	8276	0.19	14
	Total				0.61	
				Weighte	ed CN =	90

### STORMWATER BMP'S

Kansas City, Missouri follows the American Public Works Associations (APWA) Section 5600 for Storm Water Management design guidelines. This requires adherence to the MARC/APWA *Manual of Best Management Practices (BMP) For Stormwater Quality* to be considered. The existing site is composed of type C soils with a CN value of 94 based on the calculations in the table above. The proposed development has a composite CN of 90.

According to the MARC/APWA Manual, the Level of Service (LS) can be calculated for the site by comparing the Pre-Development Curve Number and Post-Development Curve Number. With a difference in pre-vs-post development curve numbers of -4, the Level of Service required is 3. Providing Native Vegetation for 0.11 acres of the site and pervious pavement in parking areas will give a composite BMP rating of 3.02. BMP calculations are included in Exhibit 6.

### SUMMARY & RECOMMENDATIONS

The proposed development will be implementing Native Vegetation and Pervious Pavement BMPs in order to treat stormwater runoff from pollutants, suspended solids, and hydrocarbons prior to discharging into the existing stormwater systems along W 47th St, west of Canterbury St. This will meet Roeland Park's requirement for treating stormwater, so it is recommended that the proposed site be developed as described.

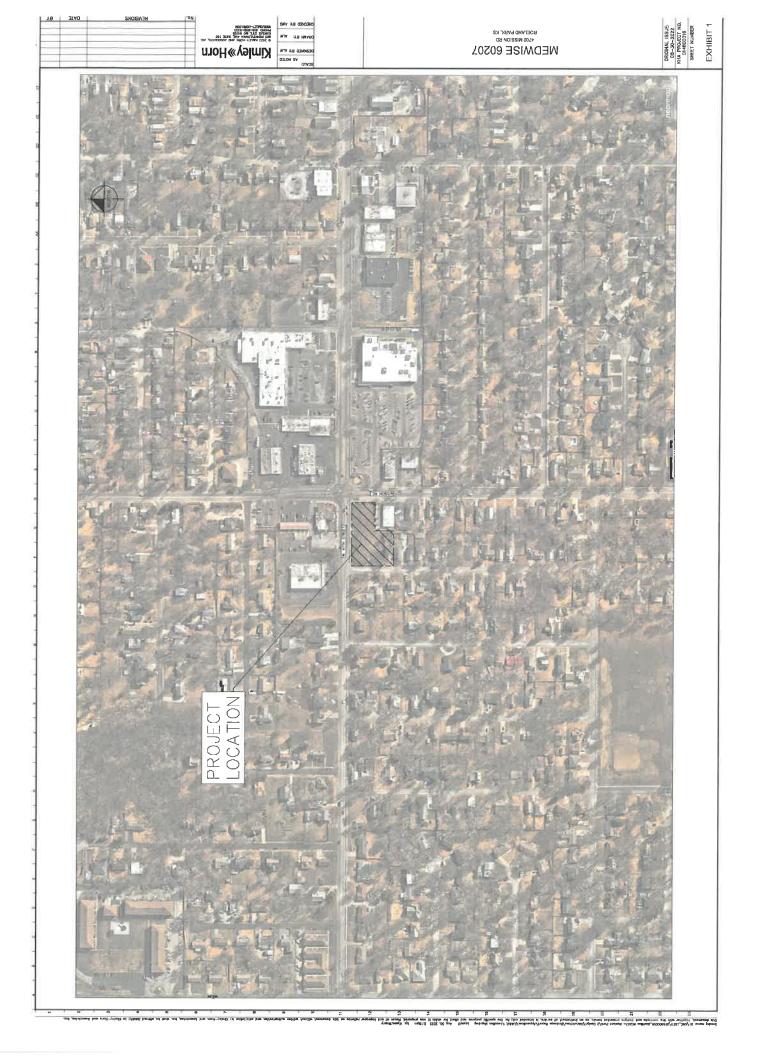
Any questions or concerns that may arise can be addressed by Andrew Gribble at 816-652-2333 or Andrew.Gribble@Kimley-Horn.com.

**KIMLEY-HORN AND ASSOCIATES, INC.** 

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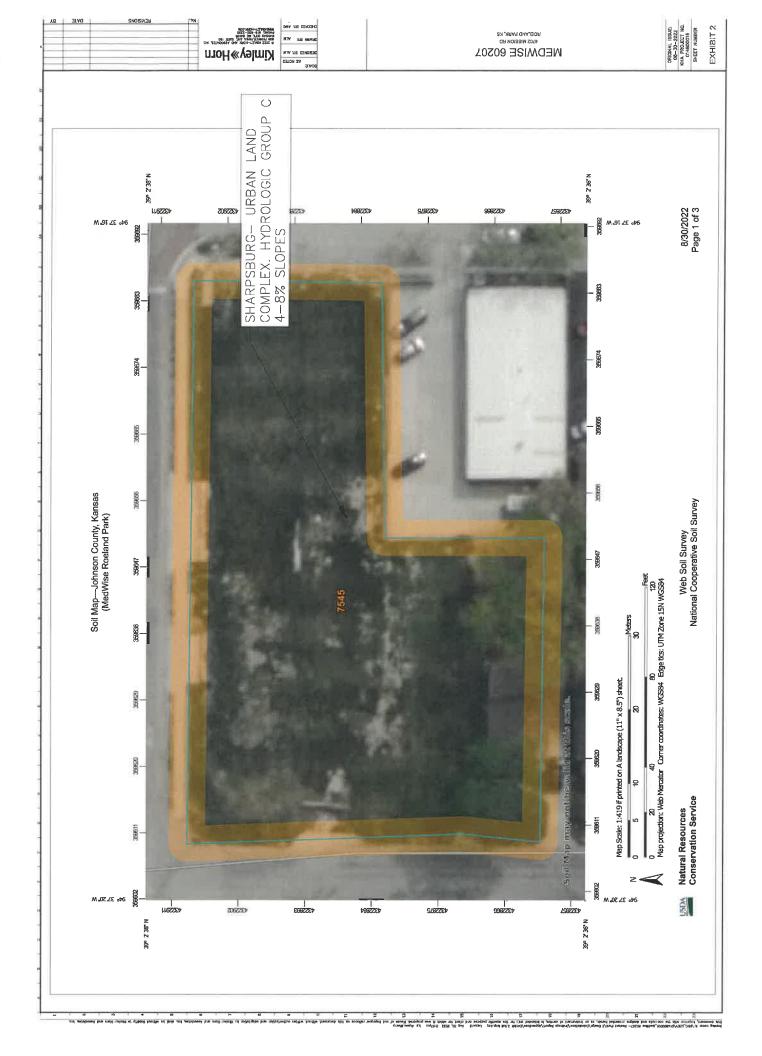
Andrew Gribble, P.E.

# Exhibit 1. Location Map



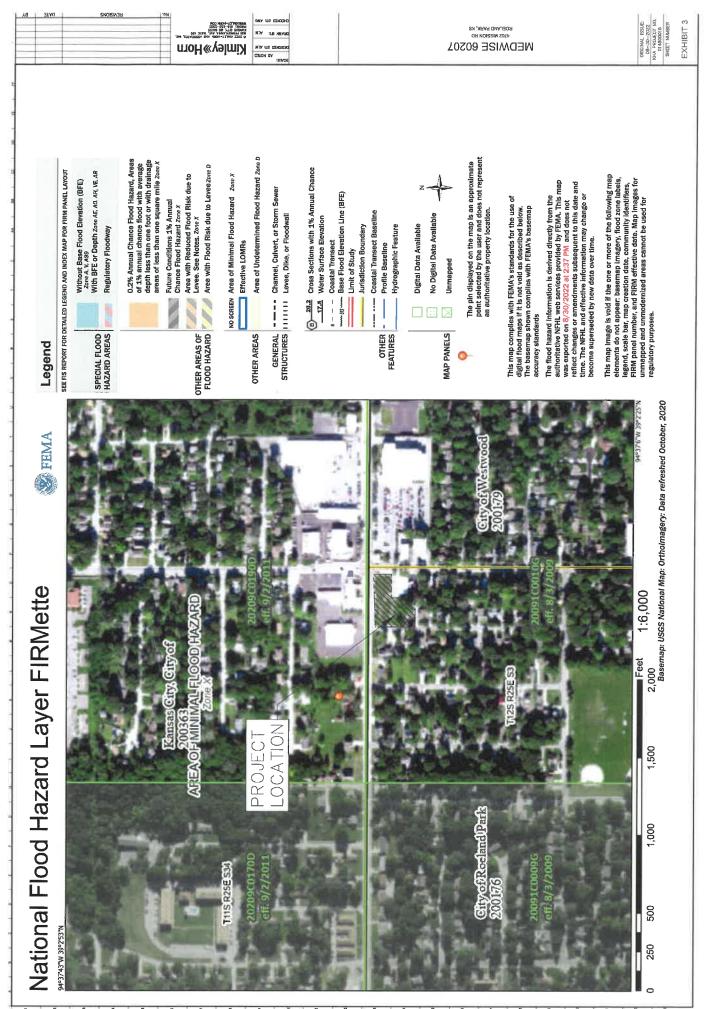
### Exhibit 2. Soil Map

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### Exhibit 3. FEMA Map

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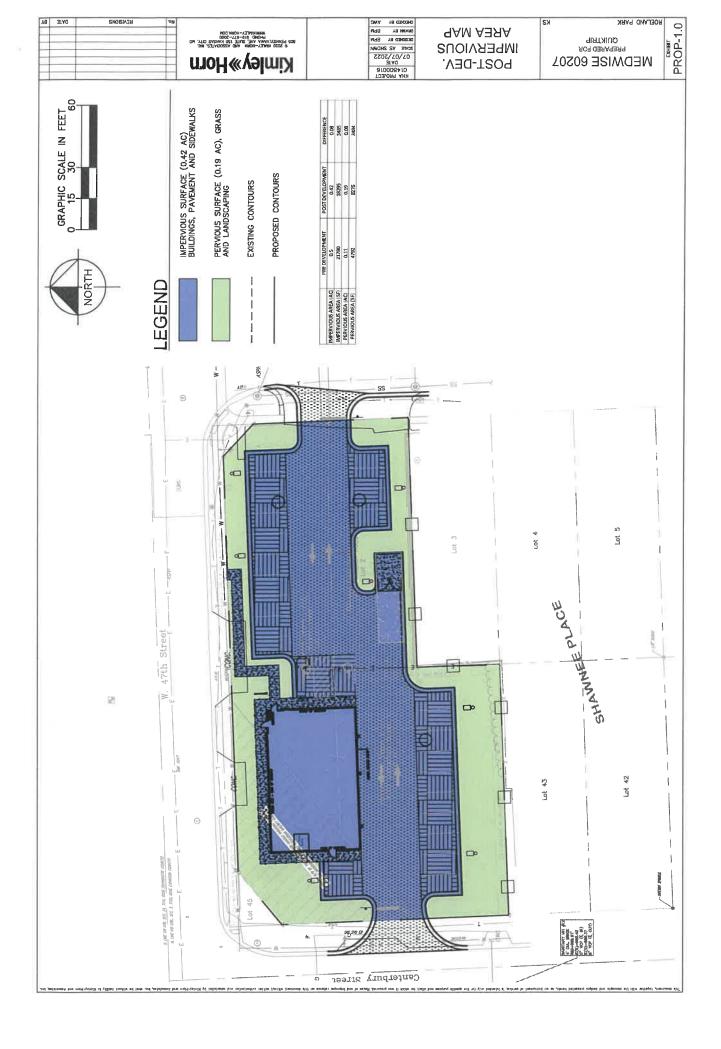
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## Exhibit 4. Existing Conditions

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### **Exhibit 5. Proposed Conditions**



### **Exhibit 6. BMP Calculations**

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	Land Use	Soil HSG	CN from Table 4.1 of the MARC Manual	Area (sf)	Area (ac)	Product of CN x Area
Pre (2016)	Impervious: Asphalt, Concrete, Roofs Etc.	с	98	21780	0.50	49
	Turfed Areas, good	С	74	4792	0.11	8
	Total			26572	0.61	
				Weight	ed CN =	94
Post	Impervious: Asphalt, Concrete, Roofs Etc.	с	98	15238	0.35	34
	Commercial Building	C	94	3057	0.07	7
	Turfed Areas, good	С	74	8276	0.19	14
	Total				0.61	
				Weight	ed CN =	90

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#### A. Predevelopment Curve Number (CN)

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Cover Description	Soil HSG	CN From Table 1	Area (ac.)	Product of CN x Area
Commercial	С	94	0.61	57.34
				0
				0
				0
L		Totals:	0.61	57.34
Area-Weighted CN = total product/total area	=			94

#### **B.** Postdevelopment Curve Number (CN)

Cover Description	Soil HSG	CN	Area (ac.)	Product of CN x Area
Commercial	C	90	0.61	54.9393948
				0
				0
				0
		Totals:	0.61	54.9393948
Area-Weighted CN = total product/total area	a =			90
C. Level of Service (LS) Calculation			Change in CN	LS
• •	94		Change in CN 17+	LS 8
Predevelopment CN:	94 90		-	
<b>C. Level of Service (LS) Calculation</b> Predevelopment CN: Postdevelopment CN: Difference:			17+	8
Predevelopment CN: Postdevelopment CN:	90		17+ 7 to 16	8 7
Predevelopment CN: Postdevelopment CN: Difference:	90 -4		17+ 7 to 16 4 to 6	8 7 6
redevelopment CN: ostdevelopment CN: vifference:	90 -4		17+ 7 to 16 4 to 6 1 to 3	8 7 6 5
redevelopment CN: ostdevelopment CN: Difference:	90 -4		17+ 7 to 16 4 to 6 1 to 3 0	8 7 6 5 4

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1. Required LS =

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3

#### 2. Proposed BMP Option Package No. 1

Cover/BMP Description	Treatment Area	VR From Table 4.4	Product of VR x
Covery Bivier Description	freatment Area	or 4.6	Area
Drainage to Native Vegetation	0.11	9.25	1.0175
Pervious Pavement	0.11	7.5	0.825
Off	0.39	0	0
			0
Total:	0.61	Total:	1.8425
		Weighted VR :	3.02

Meets Required LS (Yes/ No)? Yes

### **Kimley**»Horn

October 4, 2022

John Jacobson City of Roeland Park Building 4600 W 51<sup>st</sup> St Roeland Park, KS 66205

#### Re: MedWise Medical Facility 4702 Mission Rd, Roeland Park, KS Sidewalk Exception Justification Letter

Dear Mr. Jacobson,

This letter is being provided to explain the reasoning behind the site design at the MedWise site in Roeland Park. Specifically, the proposed site has not been designed to include a sidewalk along Canterbury Street as required per Section 16-1440 of the City code. This omission is due to existing steep grades east of Canterbury Street where there will be a proposed entrance to the site. This drive is currently designed to be at 9% +/- slope due to the proposed finished floor elevation. This finished floor elevation cannot be lowered because it is set by the minimum sewer slope from the building to the sanitary sewer connection.

Should a sidewalk be added along the east side of Canterbury across the proposed drive, the slope of the drive would be increased to over 11% to ensure the sidewalk meets ADA requirements for the cross-slopes. Another issue that we would run into is the location of the connection to the sidewalk along W. 47<sup>th</sup> St. We will not be able to connect into the ramp, and the existing wall in the northwest corner of the site is blocking a potential connection point east of the ramp. Due to these limitations of the site, we **believe that a sidewalk along Canter**bury Street should not be required for the site.

Sincerely, Kimley-Horn and Associates, Inc.

Same II

Andrew W. Gribble IV, P.E. Project Manager

Bid Number: 294	Chassis: Velocity Chassis, Aerials/Tanke 2010	ers, Tandem, PUC (Big Block
Department: Consolidated FD #2	Body: Aerial, HD Ladder 105', PUC, A	lum Body
	Parameters:	
hassis Overhang	Inside Cramp Angle: Axle Track Wheel Offset: Tread Width: Chassis Overhang: Additional Bumper Depth: Front Overhang: Wheelbase: Calculated Turning Radii: Inside Turn: Curb to curb: Wall to wall: side Turning Radius	45° 82.92 in. 5.25 in. 17.4 in. 78 in. 19 in. 97 in. 250.5 in. 19 ft. 9 in. 35 ft. 11 in. 40 ft. 11 in.
ategory Option	Description	
xle, Front, Custom 0637059	Axle, Front, Oshkosh TAK-4, Non Drive, 24,000 lb	, Velocity (425 Tires)
/heels, Front 0001656	Wheels, Front, 22.50" x 12.25", Steel, Hub Pilot	
res, Front 0677592	Tires, Front, Goodyear, G296 MSA, 425/65R22.50 Rating	), 20 ply, Fire Service Load
umpers 0536235	Bumper, 19" Extended, Steel Painted, Imp/Vel	

Actual Inside cramp angle may be less due to highly specialized options.

Curb to Curb turning radius calculated for 9.00 inch curb.

Definitions:	
Anside CrampAngle	Maximum turning angle of the front inside fire.
Axle Track	King-pin to King-pin distance of front axle.
Wheel Offset	Offset from the center line of the wheel to the King-pin.
Tread Width	Width of the tire tread.
Chassis Overhang	Distance of the center line of the front axle to the front edge of the cab. This does not include the bumper depth.
Additional Bumper Wheel	Depth that the bumper assembly adds to the front overhang.
Wheelbase	Distance between the center lines of the vehicles front and rear axles.
Inside Turning Radius	Radius of the smallest circle around which the vehicle can turn.
Curb to Curb Turning Radius	Radius of the smallest circle around which the vehicle's tires can turn. This measures assumes a curb height of 9 inches.
Wall to Wall Turning Radius	Radius of the smallest circle around which the vehicle's tires can turn. This measures takes into account any front overhang due to chassis, bumper extensions and or aerial devices.

December 15, 2022

L A M P R Y N E A R S O N

Mr. John Jacobson Building Official City of Roeland Park, Kansas 4600 W 51<sup>st</sup> Street Roeland Park, KS 66205 9001 State Line Rd., Ste. 200 Kansas City, MO 64114 [P] 816.361.0440 [F] 816.361.0045 LampRynearson.com

### Re: MedWise Urgent Care Storm Drainage Study (Not Received) Site Construction Plans (2<sup>nd</sup> Submittal) Roeland Park, Kansas

Dear Mr. Jacobson:

Lamp Rynearson has completed a second review of the Site Construction Plans dated November 17, 2022 and were provided to Lamp Rynearson on December 13, 2022. The plans were prepared by Kimley-Horn. After review, we offer the following comments:

#### Storm Drainage Study

1. A revised report was not received. Per the response letter, porous pavement calculations including storage volume and drawdown calculations are still pending. Provide an updated report when calculations are completed.

### Site Construction Plans

- 1. Sheet C-101. Provide additional details for porous pavement section. Specify porous asphalt depth, choker course depth, storage aggregate rock gradation and depth. Provide a non-woven geotextile fabric between the rock and the subsoil (Repeat Comment).
- 2. Install sidewalk along the east side of Canterbury Street. A 5-ft wide sidewalk may be located along the back of curb to limit grading impacts to the site. The City's Pedestrian + Bicycle Infrastructure Strategy plan dated September 25, 2017 calls for sidewalk to be located on both sides of the street in the ultimate condition. The Canterbury 2023 Neighborhood Street Reconstruction Project will install sidewalk on the west side of the street.

You may contact me with any questions, or if you need additional information.

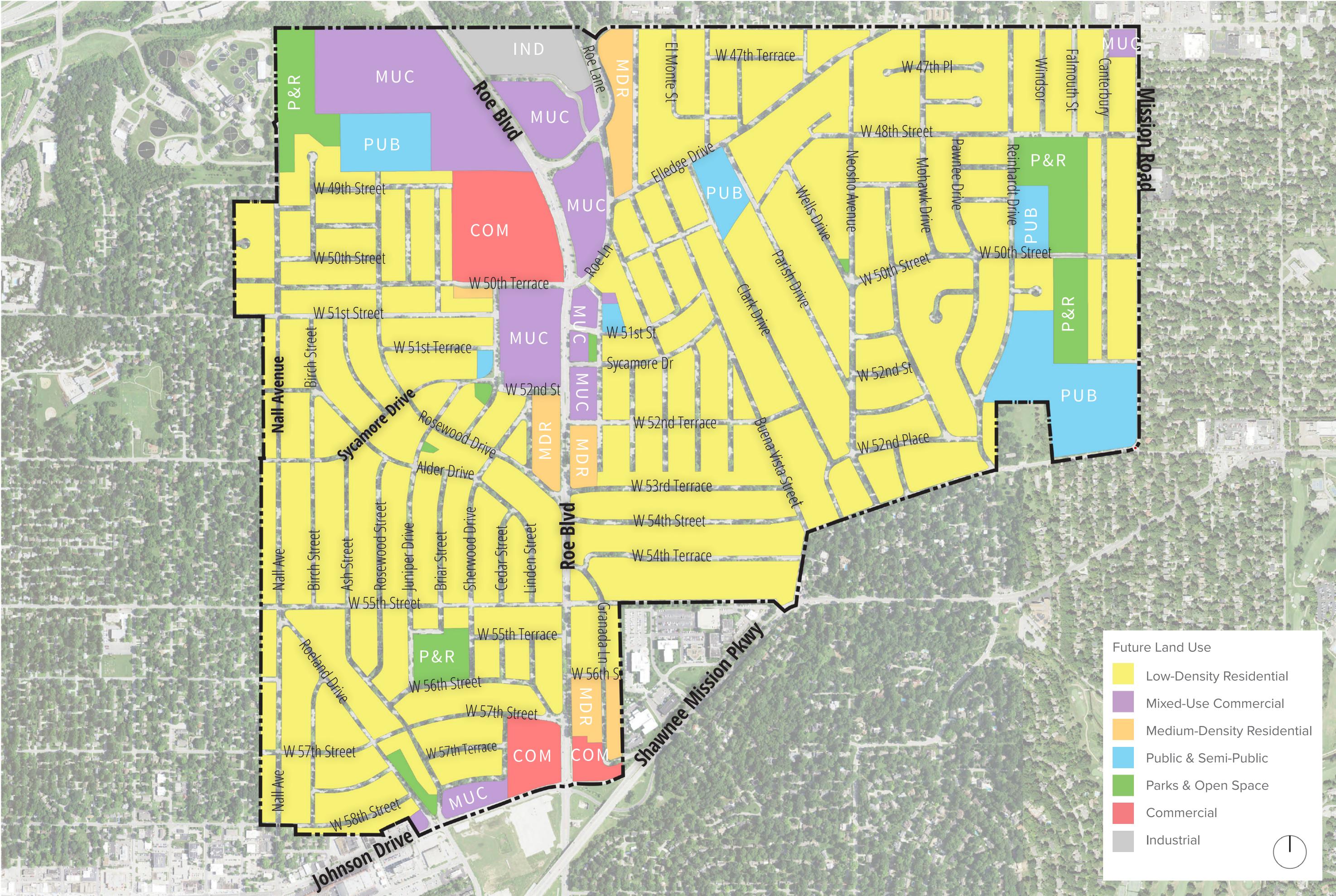
Sincerely; LAMP RYNEARSON

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Daniel G. Miller, P.E. Civil Design Group Leader MedWise Urgent Care City of Roeland Park Page 2 of 2

cc: Donnie Scharff, Director of Public Works Keith Moody, City Administrator Andrew Gribble, P.E., Kimley-Horn Alyssa Wherry, EIT, Kimley-Horn Dan McGhee, P.E., Lamp Rynearson Project File

L:\Engineering\0322001 Roeland Park KS 2022 On-Call Services\DOCUMENTS\PLAN REVIEWS\Medwise 60207\0322001 -MedWise Plan Review - 2022.12.15.docx



# **Future Land Use Map**

September 2020

CONFLUENCE







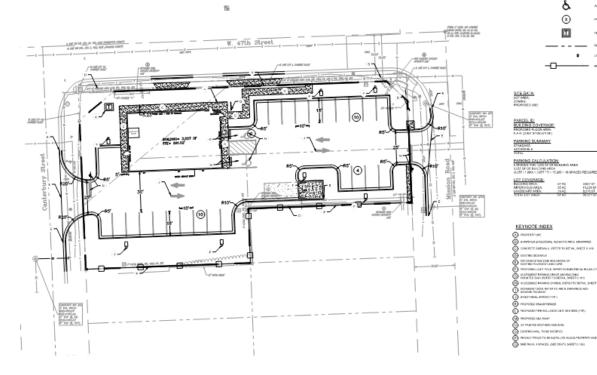
4702 Mission Road, Roeland Park, KS 66205

# **EXISTING SITE**



PROJECT LOCATION

# **PROPOSED SITE**



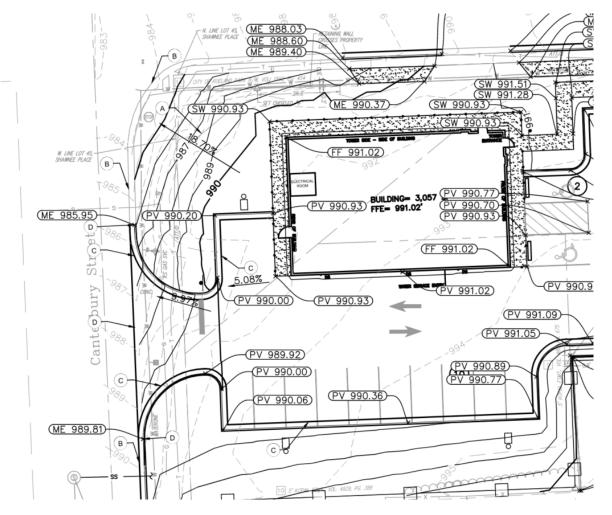


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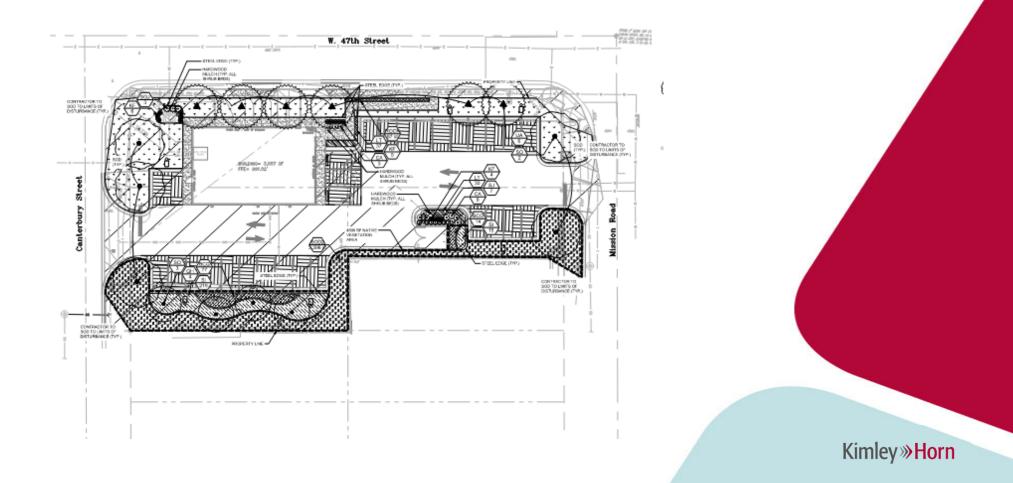
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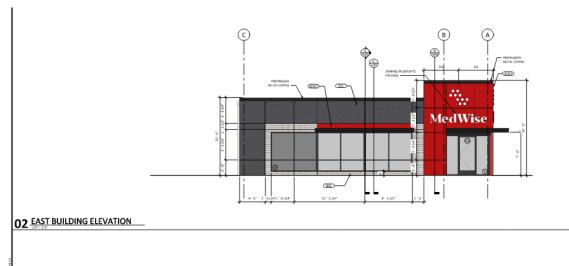
### **PROPOSED GRADING**

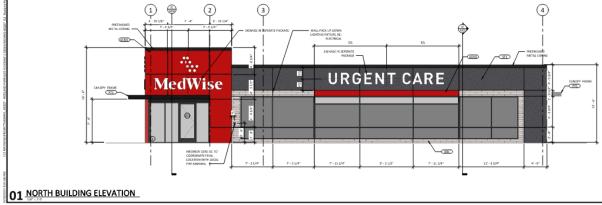


### LANDSCAPE PLAN

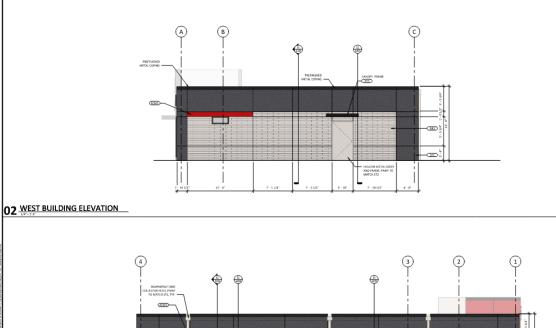


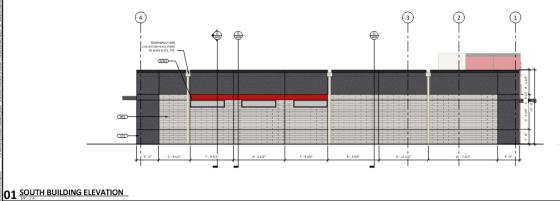
# **ARCHITECTURAL ELEVATIONS**





# **ARCHITECTURAL ELEVATIONS**







# **MEDWISE FACTS**

### VISIT MEDWISE FOR:

- · Non-life-threatening injuries and illnesses in both adults and children
- · A reliable, cost-effective alternative to the emergency room
- When your primary care physician is not available
- Same-day care when you or your loved ones are visiting from out-oftown

### SERVICES OFFERED:

- · Treatment of illnesses, injuries, and infections
- Testing for COVID-19, flu, strep, RSV
- · Physical exams
- Vaccinations
- Minor procedures
- Workman's comp assessments
- Drug screenings
- SERVICES OFFERED:
  - Typical hours of operations are 8am-8pm, 7 days a week (hours may vary based upon location)
  - NOT a 24 hour operating business
  - **NO** overnight hospitalization/care
  - NO ambulatory services
  - NO oxygen refill services



# **QUESTIONS?**

